

AGENDA

REGULAR MEETING OF THE PLANNING COMMISSION

TUESDAY, NOVEMBER 7, 2017
6:00 P.M.

Council Chambers, City Hall
212 S. Vanderhurst Avenue, King City, CA

1. CALL TO ORDER

2. ROLL CALL:

Planning Commission Members: Michael Barbree, Margaret Raschella, Ralph Lee, Vice Chairperson David Mendez, and Chairperson David Nuck

3. FLAG SALUTE

4. PUBLIC COMMENTS

*Any person may comment on any item not on the agenda. **PLEASE STATE YOUR NAME AND ADDRESS FOR THE RECORD.** Action may not be taken on the topic, unless deemed an urgency matter by a majority vote of the Planning Commission. Topics not considered an urgency matter might be referred to City staff and placed on a future agenda, by a majority vote of the Planning Commission.*

5. PRESENTATIONS

None

6. CONSENT AGENDA

All matters listed under the Consent Agenda are considered routine and may be approved by one action of the Planning Commission, unless any member of the Planning Commission wishes to remove an item for separate consideration.

- A. Meeting Minutes of October 17, 2017 Planning Commission Meeting
Recommendation: approve and file.

7. PUBLIC HEARINGS

- A. Project Name: Santa Maria Seeds Warehouse
- Case No.: Conditional Use Permit Case No. CUP 2017-005
Architectural Review Case No. AR 2017-002
- Applicant: Santa Maria Seeds (Manny Silva III, Representative)
- Location: 111 E. San Antonio Drive, King City, CA. 93930
- Consideration: Conditional Use Permit and Architectural Review for Construction of a New 14,510 Square Foot Vegetable Seed Storage Warehouse at 111 E. San Antonio Drive, King City, CA.

Recommendation: Staff recommends that Planning Commission conduct the public hearing and adopt Resolution No. 2017-200, which approves CUP Case No. 2017-005 and AR Case No. 2017-002 for the construction of a 14,510 square foot warehouse at 111 E. San Antonio Drive, based on Findings of Fact, subject to Conditions of Approval and Mitigated Measures.

Environmental Determination: Mitigated Negative Declaration ("MND") in accordance with the California Environmental Quality Act ("CEQA"), the City of King, California, is the Lead Agency. A MND has been prepared for the project identified above. A Notice of Intent ("NOI") was made available for public review on October 18, 2017. The purpose of this NOI is to solicit comments on the environmental analysis contained in the MND. There are no known environmental impacts that cannot be satisfactorily mitigated. There are no known regional environmental issues.

8. NON-PUBLIC HEARINGS

- A. Discussion on lot sizes and ordinance requirements for minimum new lots

Recommendation: Discuss lot size requirements and provide direction.

9. PLANNING COMMISSIONER REPORTS

10. DIRECTOR'S REPORT

11. WRITTEN CORRESPONDENCE

12. ADJOURNMENT

UPCOMING REGULAR MEETINGS

<u>November 2017</u>		
November 13 th	6:00 p.m.	Airport Advisory Committee
November 14 th	6:00 p.m.	City Council
November 20 th	6:00 p.m.	Recreation Commission
November 21 st	6:00 p.m.	Planning Commission
November 28 th	6:00 p.m.	City Council
<u>December 2017</u>		
December 5 th	6:00 p.m.	Planning Commission
December 11 th	6:00 p.m.	Airport Advisory Committee
December 12 th	6:00 p.m.	City Council
December 18 th	6:00 p.m.	Recreation Commission
December 19 th	6:00 p.m.	Planning Commission
December 26 th	6:00 p.m.	City Council (Canceled)

ADT: Average daily trips made by vehicles or persons in a 24-hour period

ALUC: Airport Land Use Commission

AMBAG: The Association of Monterey Bay Area Governments. The AMBAG region includes Monterey, San Benito and Santa Cruz Counties, and serves as both a federally designated Metropolitan Planning Organization and Council of Government. AMBAG manages the region's transportation demand model and prepares regional housing, population and employment forecast that are utilized in a variety of regional plans.

APCD: Air Pollution Control District

BMP: Best Management Practice, Bike Master Plan

CAP: Climate Action Plan

CC&Rs: Covenants, Conditions, and Restrictions (private agreements among property owners; the City has no authority to enforce these)

CDBG: Community Development Block Grant (a federal grant program designed to benefit low and moderate income persons)

CEQA: California Environmental Quality Act

CFD: Community Facilities District

COG: A council of government, or regional council, is a public organization encompassing a multi-jurisdictional regional community. It serves the local governments by dealing with issues that cross political boundaries.

CUP: Conditional Use Permit

EIR: Environmental Impact Report

Ex-Parte: Communication between Planning Commissioners and applicants outside of a public meeting

FEMA: Federal Emergency Management Agency

GHG: Greenhouse gas

HOME: Home Investment Partnership Act (a federal program to assist housing for low and moderate income households)

HCP: Habitat Conservation Plan

HCD: State Department of Housing & Community Development

HUD: U.S. Department of Housing and Urban Development

LAFCO: Local Agency Formation Commission

LID: Low Impact Development (measures to reduce rainwater runoff impacts)

LLA: Landscaping and Lighting District

LOS: Level of Service (a measurement of traffic efficiency used by Caltrans)

MVTC: A multimodal transit center includes a combination of alternative modes of transportation so people do not have to only rely on vehicles.

MOU: Memorandum of Understanding

MND: Mitigated Negative Declaration

MPO: A metropolitan planning organization is a federally mandated and federally funded transportation policy-making organization, such as AMBAG, that is made up of representatives from local government to help implement transportation projects and projects.

Neg Dec: Negative Declaration (a CEQA statement that a project will not have a significant effect on the environment)

NEPA: National Environmental Policy Act

SOI: Sphere of Influence.

TAMC: The Transportation Agency for Monterey County develops and maintains a multimodal transportation system for Monterey County. TAMC consists of local officials from each Monterey city (12 cities) and five (5) county supervisorial districts, and ex-officio members from six (6) public agencies.

TOT: Transient Occupancy Tax

Variance: A form of relief from zoning development regulations based on physical constraints of a property that prevents development of the same type of buildings allowed on other properties within the same zone and in the same neighborhood

VMT: Vehicle Miles Traveled

Planning Commission Minutes

October 17, 2017

6(A)

1. Call to Order

Chairperson Nuck called the regular meeting of the Planning Commission of the City of King to order at 6:01 p.m.

2. Pledge of Allegiance

Chairperson Nuck led the Commission and audience in the Pledge of Allegiance.

3. Roll Call

Chairperson David Nuck X Vice Chair David Mendez X
Michael Barbree X Margaret Raschella A Ralph Lee X

Commissioner Barbree made a motion to excuse Commissioner Raschella, seconded by Commissioner Mendez. Motion carried 4-0.

Staff present: Community Development, Director Doreen Liberto; Principal Planner, Scott Bruce; Assistant Planner, Maricruz Aguilar-Navarro; Admin. Asst./Deputy City Clerk, Erica Sonne.

4. Public Comments

None

5. Presentations

None

6. Consent Calendar

All matters listed on the Consent Calendar are considered routine and may be approved by one action of the Planning Commission, unless any member of the Planning Commission wishes to remove an item for separate consideration.

A. Approval of Minutes: October 3, 2017

Action: Motion made by Commissioner Mendez to approve minutes of October 3, 2017. Seconded by Commissioner Lee. Motion carried 4-0.

7. Public Hearing Items

- A. Project: Golden State Sciences: Medical Cannabis Level 2 Manufacturing (Type 7), Distribution (Type 11)
- Case No.: CUP 2016-011(a) 17 (First Amendment to CUP 2016-011)
- Applicant: Ryan Littman, Representative Chris Madson.
- Location: 190 San Antonio Drive
- Consideration: Amendment to a previously approved CUP that allowed renovation to a portion of an existing 13,500 square foot structure. 7,900sf was to be renovated for Level 1 Medicinal Manufacturing use (CA Type 6) with 2,700 sf to remain as Administrative Space and 2,900 sf to remain vacant as dry storage area. The Amendment would allow

Level 2 (CA Type 7) Manufacturing in the manufacturing space, dry storage and loading / unloading related to Distribution in the previously vacant (2,900 sf) space located in the western portion of the structure and use of one office (120 sf) for Distribution Administration.

Recommendation: Staff recommends that Planning Commission 1) review request for Amendment to Conditional Use Permit, 2) receive public comment, and 3) adopt the attached Resolution approving Conditional Use Permit 2016-011(a) 17.

Environmental Determination: The project qualifies as a Class 32 Categorical Exemption per CEQA Guidelines §15332 (Infill Projects), being surrounded by urban uses and not having significant impacts to traffic, noise, air quality or water quality.

Principal Planner Bruce did an overview of all of tonight's items with a power point presentation.

Principal Planner, Scott Bruce introduced this item.

Golden State Sciences did a power point presentation on their item.

Chair Nuck opened the public hearing, seeing no one come forward, he closed the public hearing.

Action: Motion made by Commissioner Barbree to adopt the attached Resolution 2017-198 approving Conditional Use Permit 2016-011(a) 17. Seconded by Commissioner Mendez. Motion carried 4-0.

B. **Project:** Boutique Unlimited: Medical Cannabis Manufacturing Level 2 (CA Type 7)

Case No.: CUP 2016-008(a) 17 (First Amendment to CUP 2016-008)

Applicant: Isaiah Dawid

Location: 151 Airport Drive

Consideration: Amendment to a previously approved CUP that allowed renovation of an existing 15,592 square foot structure. The purpose / allowed use was Cannabis Cultivation. A second floor of 15,572 sf was to be added inside the existing space. An expansion to the structure – 9,508 square feet of floor area in two stories was to be added. Although internal floor space would total 40,652 sf, plant canopy could not exceed 22,000 sf. This Amendment would allow Level 2 (CA Type 7) Manufacturing in the north-west corner of the first floor. To accommodate this change in use, Cannabis Canopy will be reduced thy approximately 1,350 sf and approximately 1,900 sf of floor area will be re-allocated to Manufacturing Use. The size/foot print of the structure and/or site plan do not change.

Recommendation: Staff recommends that Planning Commission 1) review request for Amendment to Conditional Use Permit, 2) receive public comment, and 3) adopt the attached Resolution approving Conditional Use Permit 2016-008(a) 17.

Environmental Determination: The project qualifies as a Class 32 Categorical Exemption per CEQA Guidelines §15332 (Infill Projects), being surrounded by urban uses and not having significant impacts to traffic, noise, air quality or water quality.

Principal Planner, Scott Bruce introduced this item.

Mike Ferguson, Boutique Unlimited did a presentation.

Chair Nuck opened the public hearing, seeing no one come forward, he closed the public hearing.

Action: Motion made by Commissioner Lee to adopt the attached Resolution 2017-197 approving Conditional Use Permit 2016-008(a) 17. Seconded by Commissioner Mendez. Motion carried 4-0.

- C. Project: King City Cultivation: Medical Cannabis Cultivation (CA Type 3B)
- Case No.: CUP 2016-010
- Applicant: The Tribe (Corey Barnett)
- Location: Northeast Corner of San Antonio Drive and Don Bates Way
- Consideration: Conditional Use Permit 2016-010 (CUP) to develop a parcel located at the northeast corner of Don Bates Way and San Antonio Drive (APN 026-521-011). The projected development is on approximately 4.2 acres and includes 8 new structures. The 4 larger will be used for Cannabis Cultivation in a greenhouse format; the smaller 4 (one associated with each larger structure) will be used for administration, employee changing areas, drying, curing and trimming. The City has required the project to also be designed so that, if necessary, it may be readily subdivided into 4 parcels without changes to the project as proposed by the CUP. The potential for such subdivision (parcel map) has been included in this environmental assessment as part of the project.
- Recommendation: Staff recommends that Planning Commission 1) review request for Conditional Use Permit, 2) receive public comment, and 3) adopt the attached Resolution approving Conditional Use Permit 2016-010 and adopting Finding of Consistency
- Environmental Determination: King City previously prepared and certified (September 2016) a Mitigated Negative Declaration (MND) for the amendment of the City's Zoning Ordinance and the amendment of the East Ranch Business Park Specific Plan (ERBP Specific Plan) (Ordinances 2016-728, 2016-729 and 2016-730) to allow new land uses in the Manufacturing Districts (M-1, M-2, M-3) and in the ERBP Specific Plan.
King City has conducted an initial study of the project and has determined the project is fully within the scope of the prior analysis by the MND. The Adoption of a Finding of Consistency has been recommended per CEQA Guidelines Section 15162 and has been noticed for Public Review

Principal Planner, Scott Bruce introduced this item.

Brandon Gesicki, The Tribe did a power point presentation of their project.

Chair Nuck opened the public hearing, seeing no one come forward, he closed the public hearing.

Action: Motion made by Commissioner Barbree to adopt the attached Resolution 2017-196 with the amendment to the recycled water connection, approving Conditional Use Permit 2016-010. Seconded by Commissioner Mendez. Motion carried 4-0.

- D. **Project:** King City Cultivation: medical Cannabis Cultivation (CA Type 3B) Manufacturing (CA Type 7) and Distribution (Type 11)
- Case No.:** CUP 2016-009
- Applicant:** The Tribe (Corey Barnettt) and King City Cultivation (Brandon Gesicki)
- Location:** Industrial Way
- Consideration:** Conditional Use Permit 2016-009 (CUP) to develop a parcel located on Industrial Way (APN 026-351-036). The projected development is on approximately 2.4 acres and includes 4 new primary structure and 2 secondary structures. The 2 larger structures in the south will be used for Cannabis Cultivation in a greenhouse format; the smaller 2 in the south (one associated with each larger structure) will be used for administration, employee changing areas, drying, curing and trimming. The two (2) structures in the north will be for manufacturing and Distribution. The city has required the project to also be designed so that, if necessary, it may be readily subdivided into 4 parcels without changes to the project site plan as proposed by the CUP. The potential for such subdivision (parcel map) has been included in this environmental assessment as part of the project.
- Recommendation:** Staff recommends that Planning Commission 1) review request for Conditional Use Permit, 2) receive public comment, and 3) adopt the attached Resolution approving Conditional Use Permit 2016-009 and adopting Finding of Consistency
- Environmental Determination:** King City previously prepared and certified (September 2016) a Mitigated Negative Declaration (MND) for the amendment of the City's Zoning Ordinance and the amendment of the East Ranch Business Park Specific Plan (ERBP Specific Plan) (Ordinances 2016-728, 2016-729 and 2016-730) to allow new land uses in the Manufacturing Districts (M-1, M-2, M-3) and in the ERBP Specific Plan. King City has conducted an initial study of the project and has determined the project is fully within the scope of the prior analysis by the MND. The Adoption of a Finding of Consistency has been recommended per CEQA Guidelines Section 15162 and has been noticed for Public Review

Principal Planner, Scott Bruce introduced this item.

The Tribe and King City Cultivation (Brandon Gesicki) had a power point presentation.

Chair Nuck opened the public hearing, Joshua Rich from Boutique Unlimited wanted to let the commission know that they use every bit of the plant so there is not a lot of waste, Chair Nuck closed the public hearing.

Action: Motion made by Commissioner Mendez to adopt the attached Resolution 2017-195 with the amendment of the recycled water connection COA, approving Conditional Use Permit 2016-009. Seconded by Commissioner Barbree. Motion carried 4-0.

- E. **Project:** Elite Molecular, LLC: Medical Cannabis Cultivation (CA Type 3A), Nursery (CA Type 4), Manufacturing Level 2 (CA Type 7),

Transportation / Distribution (CA Type 11)

Case No.: CUP 2017-009

Applicant: David Bonvillain

Location: 101 Airport Drive

Consideration: Renovation of an existing 10,500 square foot structure which will include re-construction of the northern portion of the structure (2,800 sf). The footprint of the existing structure will not expand. Although internal floor space will total 10,500 sf, Cultivation and Nursery operations may be "stacked". However, plant canopy in the Cultivation Area cannot exceed 22,000 sf and Nursery canopy cannot exceed 25,000 sf.

Recommendation: Staff recommends that Planning Commission 1) review request for Conditional Use Permit, 2) receive public comment, and 3) adopt the attached Resolution approving Conditional Use Permit 2017-009.

Environmental Determination: The project qualifies as a Class 32 Categorical Exemption per CEQA Guidelines §15332 (Infill Projects), being surrounded by urban uses and not having significant impacts to traffic, noise, air quality or water quality.

Principal Planner, Scott Bruce introduced this item.

Brandon Gesicki and David Bonvillian further introduced this item with a power point.

Chair Nuck opened the public hearing, seeing no one come forward, he closed the public hearing.

Action: Motion made by Commissioner Barbree to adopt the attached Resolution 2017-199 approving Conditional Use Permit 2017-009. Seconded by Commissioner Mendez. Motion carried 4-0.

8. Non-Public Hearing Items –

A. Project: Substantial Conformance Determination for Mobilitie, LLC Conditional Use Permit Case Numbers: CUP 2017-013, CUP 2017-014 and CUP 2017-015.

Consideration: Planning Commission will consider taking action on a substantial conformance determination request to reduce the height of the previously approved Small Cell Site light poles from 32'6" feet to 30' feet for Mobilitie, LLC for CUP2017-013, CUP2017-014 and CUP 2017-015.

Recommendation: Staff recommends the Planning Commission find the applicant's request to be in substantial conformance with the approved Conditional Use Permits provided an amended emission report is submitted showing no impact.

Requested by: David Downs, Mobilitie, LLC, Applicant for CUP 2017-013, CUP 2017-014, and CUP 2017-015

Environmental Determination: Staff has found the project categorically exempt, pursuant to Section 15303 of the California Environmental Quality Act ("CEQA") Guidelines: New Construction or Conversion of Small Structures, Class 3 (b).

Assistant Planner, Maricruz Aguilar-Navarro introduced this item.

Action: Motion made by Commissioner Barbree where Planning Commission finds the applicant's request for shorter poles is in substantial conformance with the approved Conditional Use Permits provided an amended emission report is submitted showing no impact. Seconded by Commissioner Mendez. Motion carried 4-0.

9. Regular Business- None

10. Planning Commission Report –

11. Director Reports-

12. Written Correspondence– None

13. Adjournment

There being no further business, the Planning Commission meeting was adjourned at 6:18 p.m.

David Nuck
Planning Commission Chairperson
City of King

Erica Sonne
Planning Commission Secretary
City of King



Item No. 7(A)

REPORT TO THE PLANNING COMMISSION

DATE: NOVEMBER 7, 2017
TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION
FROM: DOREEN LIBERTO, AICP, COMMUNITY DEVELOPMENT DIRECTOR
BY: DONALD J. FUNK, PRINCIPAL PLANNER
RE: CONSIDERATION OF CONDITIONAL USE PERMIT CASE NO. CUP 2017-005 AND ARCHITECTURAL REVIEW CASE NO. AR 2017-002 FOR THE CONSTRUCTION OF A NEW 14,510 SQUARE FOOT STORAGE WAREHOUSE FOR THE PURPOSE OF STORAGE OF VEGETABLE SEED AND OTHER AGRICULTURAL PRODUCTS AT 111 E. SAN ANTONIO DRIVE, KING CITY.

RECOMMENDATION:

It is recommended Planning Commission conduct the public hearing and adopt Resolution No. 2017-200 which approves Cases No. CUP 2017-005 and AR 2017-002 for the development and construction of a 14,510 square foot vegetable seed warehouse, based on the findings of fact and subject to the Conditions of Approval (*Reference Exhibit 2 and 4.*)

BACKGROUND:

On **June 7, 2017**, Manny Silva III ("**Applicant**") submitted an application for the construction of a new 14,510 square foot warehouse and development of 111 E. San Antonio Drive with the following permits: Conditional Use Permit (Case No. CUP 2017-005) and Architectural Review (Case No. AR 2017-002).

Previously, on **August 21, 2007**, Santa Maria Seeds had received approvals of Conditional Use Permit (CUP2007-007) and Architectural Review (AR2007-007) by the Planning Commission ("**Commission**") for a similar request, the construction of a 10,000-square foot warehouse. However, that project was not commenced within the one (1) year of approval and the approval period timeframe expired in 2008.

The new project includes a proposal for a 10,933-square foot warehouse and another 3,577 square feet of office and associated uses at the front of the building. The proposed office area is two-levels. A parking area with landscaping is proposed



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for the area in front of the building. Driveways provide access to both sides and the rear of the building.

Santa Maria Seeds Company is located in the main growing regions in California and Arizona. According to their website, Santa Maria Seeds offers a full range of high quality vegetable and field seed. They provide seeds to suppliers and has offices in Santa Maria, King City, and Salinas California and Yuma Arizona.

The project site is 111 E. San Antonio Drive and is located within the Planned Development/Specific Plan ("**P-D/SP**") Zoning District and within the Light Industrial ("**LI**") General Plan Land Use Designation. The property is within the boundary of the East Ranch Business Park – Specific Plan ("**ERBP-SP**"). According to Chapter 4 – Development Standards of the ERBP-SP, a Conditional Use Permit ("**CUP**") is required for wholesaling, storage and warehousing completely within an enclosed structure, along with architectural review ("**AR**").

DISCUSSION:

The proposal includes CUP and AR applications for the construction of a warehouse with offices within the ERBP-SP. Their request includes an approximately 14,510 square foot warehouse building to be located on a vacant lot on East San Antonio Drive, east of Metz Road, next door to the Department of Motor Vehicles offices. The warehouse portion of the project is approximately 10,933 square feet with the remaining building area proposed as offices to support the warehouse use. The proposed building is proposed to have silver metallic metal siding with contrasting medium bronze color panels. Large garage-type doors provide access to storage area. The front office area will occupy the front of the building on two (2) levels.

Decorative concrete block walls are proposed to enclose trash and outside areas. Attractive wrought iron fencing is used for security. The front parking lot has a well-designed landscape treatment, including sweet acacia trees, royal purple smoke trees, cactus, shrubs and ground mulch. The proposal includes seventeen (17) parking spaces, including one (1) handicap accessible spaces. Drainage is proposed to be directed to detention basins in the side yard.

DEVELOPMENT STANDARDS ANALYSIS:

Proposed Uses

Per the ERBP-SP, the following uses are permitted subject to obtaining a conditional use permit:

- Wholesale and Warehouse Uses
 - a. Wholesaling, storage and warehousing completely within an enclosed structure.
- Commercial and Services Uses
 - a. Office of manufacturers' representatives, brokers, business and professional services or consultation.

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The Commission will determine if the proposed project complies with the regulations of the ERBP-SP and if the proposed uses are consistent with the location, neighboring uses and vicinity. The proposed warehouse and offices are not anticipated to create excessive noise, odors, vibrations or other objectionable impacts that would negatively impact neighbors. The use will be supportive of the local agricultural in the region and is expected to be a benefit to farmers. The proposed offices will support the warehouse use and provide comfortable and attractive space for the company's employees and clients.

Building Height

Per ERBP-SP Chapter 4 Development Standards, no buildings shall be more than three (3) stories, or no more than thirty (30') feet in height (not including roof-mounted equipment which must be screened and/or painted to coordinate with building architecture). The proposed building is twenty-nine (29.2') feet in height. **The proposed building height meets the building height standards of the ERBP-SP. (See Figure 10.)**

Building Site

Per the ERBP-SP the minimum building site is thirty thousand (30,000) square feet, minimum lot width of one-hundred (100') feet, and a minimum lot depth of one-hundred (100') feet. The existing site is 62,340 square feet (1.43 acres). The existing lot width is 214.74' feet and the existing lot depth is two-hundred and ninety (290') feet. **The existing site complies with the Building Site standards of the ERBP-SP.**

Lot Coverage

The maximum coverage of a lot by all structures may be sixty (60%) percent. The proposed coverage by structures is twenty-two (22.2%) percent of the lot. **The proposed lot coverage complies with the Lot Coverage standard of the ERBP-SP.**

Minimum Yards

Table 1			
Adjacent Zoning/Land Use			
	Requirement	Proposed	Complies with ERBP-SP?
Front Yard	20ft, (≤structures 20ft in height) 40ft (≥structures greater than	84'	Yes

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	20ft)		
Side Yard	10ft for single story structures not exceeding 20ft in height, otherwise 20ft side yard required	44'	Yes
Rear Yard		71'8"	Yes
Interior Lot	10ft for residential structures not exceeding 20ft in height, otherwise 20ft		
Corner Lot	Corner lot same as front yard setback.		

The proposed setbacks comply with the Minimum Yard Requirements of the ERBP-SP.

DESIGN STANDARDS ANALYSIS:

Architectural Features

The Design Standards of the ERBP-SP are intended to preserve the integrity of development in the ERBP-SP area. The Design Standards for East Ranch Business Park and individual parcels will help ensure the implementation of a quality development and maintain the concept of a strong master-planned industrial community. The applicant is proposing a functional and pleasing design for the site that will fit in with neighboring uses. The Planning Commission will act as the architectural review committee ("**ARC**"), pursuant to Municipal Code Section 17.30.120.

1. Projects shall utilize at least three (3) coordination colors. Minor variations will be subject to review and approval by the Community Development Department. All surfaces visible from the adjacent streets will be finished according to these standards.

Project meets this requirement. **(See Figure 13)**

2. Mansard roofs, parapets, overhangs, and awnings will be decorative and coordinated with the architecture and colors of the building. Visible roofing materials on these features will be tile or architectural metal. Composition, tar and rock roofing materials are not acceptable for visible roofing.

Project meets this requirement. **(See Figures 1 and 2)**

3. Site and roof-mounted equipment shall be painted and screened from adjacent public street visibility and shall coordinate with architectural

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features of the building. Well maintained antenna towers and satellite dishes may be left unpainted. These details must appear on elevations submitted for architectural review.

Project will be conditioned to meet this requirement. **(See Condition 23)**

4. Windows and main entrance doors will be bronze glass for appearance and energy conservation.

Project will be conditioned to meet this requirement. **(See Condition 24)**

5. Wind barriers consistent with the architecture and colors of the building may be built to a maximum height of thirty feet (30') and not to exceed the height of the building.

Project meets this standard.

6. Electrical and mechanical apparatus and fixtures located on exterior walls shall be concealed from street visibility in a manner consistent with the architectural design of the building.

Project will be conditioned to meet this requirement. **(See Condition 25)**

7. Dumpsters and trash collection areas must be enclosed or suitably screened from street visibility. (See Exhibit 9 of ERBP-SP)

Project design indicates a proposed trash enclosure. Project will be conditioned to meet this requirement. **(See Figure 11) (See Condition 22)**

Landscaping

1. Concept

The basic objective of the Landscape Concept is to create a strong sense of project identity throughout the East Ranch Business Park Plan Area. The intent of the Landscape Concept is to establish a park-like setting which creates not only a strong landscape framework for the buildings, but also provides a pleasant pedestrian circulation system along the major San Antonio Drive arterial.

Project design includes well landscaped front yard area and around the parking lot as required by the ERBP-SP. **(See Condition 21)**

The selection of plant materials shall be made with water conservation and low maintenance characteristics as considerations. The aesthetic qualities of landscaping and plant material shall blend with the native plant material in the King City area. **(See Condition 21)**

Plantings proposed are generally water conserving plants. **(See Figure 3) (See Condition 21)**

Landscaping should be used on sites to define areas such as entrances to buildings and parking lots, define the edges of various land uses, provide transition between neighboring properties (buffering), provide screening for outdoor storage, loading and equipment areas, and soften the industrial hardscape of the business park.

Project is consistent with these provisions. **(See Figures 1 and 2)**

Landscaping, Coverage and Other Similar Code Standards: The project is required to meet landscaping standards of the ERBP-SP:

Landscaping Areas

All developments will be required to landscape a twenty (20') foot front yard and twenty (20') foot side yard setback from the property line which is adjacent to a public or private street, unless otherwise approved by the Community Development Department. **(See Condition 21)**

Special attention should be given to on-site landscaping in the following areas:

- a. Property Line Planting – Off sides of the property line shall be landscaped with trees, shrubs and vegetation.

Project is consistent with this provision. **(See Condition 21)**

- b. Parking Lot Planting – A minimum of five (5%) percent of the total area of parking lot shall be devoted to landscaping. Landscaping in parking lots should be located and maintained so there is no driver view blockage.

Project provides greater than five (5%) percent planting of parking lot area.

- c. Building Perimeter Planting – Planting areas around the building shall integrate with the building design and enhance the appearance of the building.

Project is consistent with this provision.

It is intended that individual owners have the flexibility to express their own landscape design concepts while being consistent with the overall landscape concept.

5. Irrigation Standards from ERBP-SP

- a. All irrigation systems shall be fully automatic.

Project will be conditioned to meet this standard. **(See Condition 21)**

- b. Low-volume irrigation equipment shall be required for all planted areas within the individual sites.

Project will be conditioned to meet this standard. **(See Condition 21)**

- c. Irrigation water shall not overthrow onto walks, common areas, or onto any architectural walls.

Project will be conditioned to meet this standard. **(See Condition 21)**

- d. Utility cabinets and irrigation hardware should be screened by shrubs.

Project will be conditioned to meet this standard. **(See Condition 23)**

This proposed project has landscaping treatment proposed for the street frontage and around the parking lot, including a twenty (20') foot strip of

planting between the parking lot and the front property line. It appears to comply with the provisions of the ERBP-SP.

Trash Enclosure and Transformers:

A trash enclosure is proposed as required by ERBP-SP. Following are those standards: Trash Enclosures and Transformers. **(See Figures 4 and 11)**

1. Outdoor trash areas shall be visually screened by a minimum six-foot (6') high, noncombustible enclosure constructed of the same materials and finishes as the adjacent building. **(See Exhibit 9 ERBP-SP)**

The applicant's proposal provides enclosure. **(See Condition 22)**

2. Trash enclosures shall be designed and located so as not to be highly visible from adjacent streets and property.

The trash enclosure should be set back from currently proposed location to provide landscaping in front of the enclosure and transformers. Recommendation is to setback behind twenty (20') foot front setback. **The project is conditioned to setback behind twenty (20') foot front setback. See Condition 22).**

3. Transformers and emergency generators, where required, shall be screened by walls or dense landscaping.

The electrical transformers should be set back from currently proposed location to provide landscaping in front of the transformers. **(See Conditions 22 and 27)**

4. Above-ground transformers and trash enclosures shall not be permitted within the "front" street-side building setback. Transformers located in the "front" street-side setback shall be underground.

See notes in #2 and #3 above.

5. Above-ground switching devices, installed as a part of the backbone utility system, shall be screened from view from adjacent streets by shrub elements as provided for in the streetscape design and shall not be permitted in the "front" street side setback.

See notes in #3 above. **(See Condition 21)**

Lighting Standards of ERBP-SP

1. Lighting shall be used to provide illumination for security and safety of parking, loading, and access areas. Security light fixtures shall not project above the fascia or roofline of the building.

Project CUP Conditions shall contain this provision. **(See Condition 9)**

2. All lighting shall be shielded (cut off) to keep light spread within the site boundaries.

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Project CUP Conditions shall contain this provision. **(See Condition 9)**

3. Pole light fixtures in parking areas shall not exceed thirty feet (30') in height. **(See Exhibit 10 ERBP-SP)**

Project CUP Conditions shall contain this provision. **(See Condition 9)**

4. Exterior building lighting shall be used to reinforce the architectural design. Emphasis shall be placed on entries, landscaping elements, architectural features, etc.

Project CUP Conditions shall contain this provision. **(See Condition 9)**

5. Lighting shall be directed toward the building (wall wash), not adjacent properties.

Project CUP Conditions shall contain this provision. **(See Condition 9)**

6. Service area lighting, if any, shall be contained within the service area and shall be a 90-degree cutoff-type fixture.

Project CUP Conditions shall contain this provision. **(See Condition 9)**

This proposed project has landscaping treatment proposed for the street frontage and around the parking lot, including a twenty (20') foot strip of planting between the parking lot and the front property line. It appears to comply with the provisions of the ERBP-SP.

Drainage Requirements:

The project will be required to meet State and Federal drainage and erosion standards, keeping drainage from the building on-site in a manner that will permit percolation into the ground water and reduction of stormwater flows. The site lends itself to use of bioretention basins or similar methods of maintaining drainage on-site. Since the site is greater than one (1) acre in area, construction and grading would follow normal Stormwater Pollution Prevention Plan ("**SWPPP**") protocols for grading and construction during rainfall events. As long as measures meet the SWPPP standards and maintain future rainfall on-site, there should be no significant negative impacts expected from the project. The applicant should discuss SWPPP standards with the Central Coast Regional Water Quality Control Board ("**RWQCB**") and with the City Engineer. The project is required to conform to City and RWQCB Standards, and be reviewed and approved by the City Engineer. **(See Conditions 28, 31, 33, and 35)**

Surrounding Uses

Table 1 provides an overview of the adjacent zoning and land use.

Table 1 Adjacent Zoning/Land Use			
North:	ERBP (Specific Plan) Light Industrial (land use)	East:	ERBP (Specific Plan) Light Industrial (land use)
West:	ERBP (Specific Plan) Light Industrial (land use)	South:	ERBP (Specific Plan) Light Industrial (land use)

GENERAL PLAN/POLICIES AND REQUIREMENTS:

Table 3 provides the land use designations for the project.

Table 3 General Plan Designations	
General Plan Land Use Designation:	LI (Light Industrial)
Specific Plan Area:	East Ranch Business Park – Specific Plan

Land Use Element

The proposal is consistent with the City General Plan designation. The proposed uses, warehouse of agricultural products and associated offices for the business are uses that are encouraged in industrial areas of the City and will provide products and services that will benefit the nearby farms and ranches as well as provide employment for local residents. There are no issues with the Land Use Element of the General Plan.

Advantages

The ERBP is an important component of the City. Adding the Santa Maria Seeds project to the ERBP-SP area will add to the variety of industries along the business park. The building will enhance the area aesthetically through its design and landscaping. The project will result in improved business, development in the City,

additional needed services for the agricultural operations within the surrounding areas.

Disadvantages

There are no known disadvantages. The project is well designed and will benefit the farmers as well as creating an enhancement to the area. The applicant will be required to reduce all environmental impacts to a less than significant level.

ENVIRONMENTAL DETERMINATION:

Staff prepared an Initial Study and Mitigated Negative Declaration ("**MND**") on the CUP and AR and was made available for public review on **October 18, 2017**. Environmental review was prepared for the proposed warehouse building and other proposed improvements pursuant to the California Environmental Quality Act ("**CEQA**"). The Initial Study ("**IS**") indicated that the proposed project has the potential to result in significant environmental impacts unless specific mitigation measures ("**MM**") are implemented. To date no correspondence has been received regarding the MND.

The mitigation measures are contained in the MND, attached **Exhibit 5**

PROJECT REVIEW COMMITTEE COMMENTS AND REVIEW AND REVIEW BY AGENCIES:

A representative from each City Department meets to discuss most community development projects. This group operates as the City's staff advisory team, which is referred to as the Project Review Committee ("**PRC**"). PRC provides comments to the applicant and conditions of approval ("**COA**") before a project goes to the Planning Commission. No major issues regarding the project arose during the meeting of the PRC. Comments from PRC are incorporated throughout the staff report and their recommendations are incorporated in the attached COA. Comments in this Staff Report reflect comments made by City Staff.

As of the date of the preparation of this staff report, no written testimony has been received by the City.

PUBLIC NOTICE AND INPUT:

A Notice of Intent ("**NOI**") to Adopt a Mitigated Negative Declaration ("**MND**") was published in the King City Rustler newspaper on October 18, 2017.

A public hearing notice was published in the King City Rustler newspaper on **October 25, 2017** and all property owners of record within three-hundred (300') feet of the subject site were notified of this evening's public hearing and invited to voice any concerns on this application. A public hearing will be conducted on November 7, 2017.

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COST ANALYSIS:

Development review application fees are based on actual time and materials per the City Fee Scheduled. The applicant is covering the cost required for review and processing. Note: The filing fee to file a Notice of Determination ("**NOD**") when a Negative Declaration was prepared is \$2,266.25 and made payable to the Monterey County Clerk. If the applicant chooses to file the NOD, it needs to be filed with the County Clerk within five (5) days of approval to limit the statute of limitation to litigate to thirty (30) days. If the NOD is not filed, the statute of limitation to litigate is six (6) months.

ALTERNATIVES:

The following alternatives are provided for Planning Commission consideration:

1. Adopt Resolution No. 2017-200 which approves CUP2017-005 and AR2017-002;
2. Request modifications in the design and/or proposed use;
3. Deny Resolution No.2017-200 which denies the project from construction. (If the Planning Commission wishes to deny the project, the reasons should be specified and the item continued to a future hearing so the appropriate findings of fact and resolution can be prepared by staff.); or
4. Provide other direction to staff.

Exhibits:

1. Exhibit 1 – Additional Figures
2. Exhibit 2 – Findings of Fact
3. Exhibit 3 – Resolution No. 2017-200
4. Exhibit 4 – Conditions of Approval
5. Exhibit 5 – Mitigated Negative Declaration
6. Exhibit 6 – Project Description, Site Plan and Elevations

Submitted by: 
Donald J. Funk, Principal Planner

Approved by: 
Doreen Liberto, AICP, Community Development Director

**EXHIBIT 1
Additional Figures**

Figure 1 – Artist concept showing the exterior elevations of the proposed building



CONCEPTUAL EXTERIOR VIEW

Santa Maria Seeds Warehouse
13 East San Antonio Drive, King City
7.0006

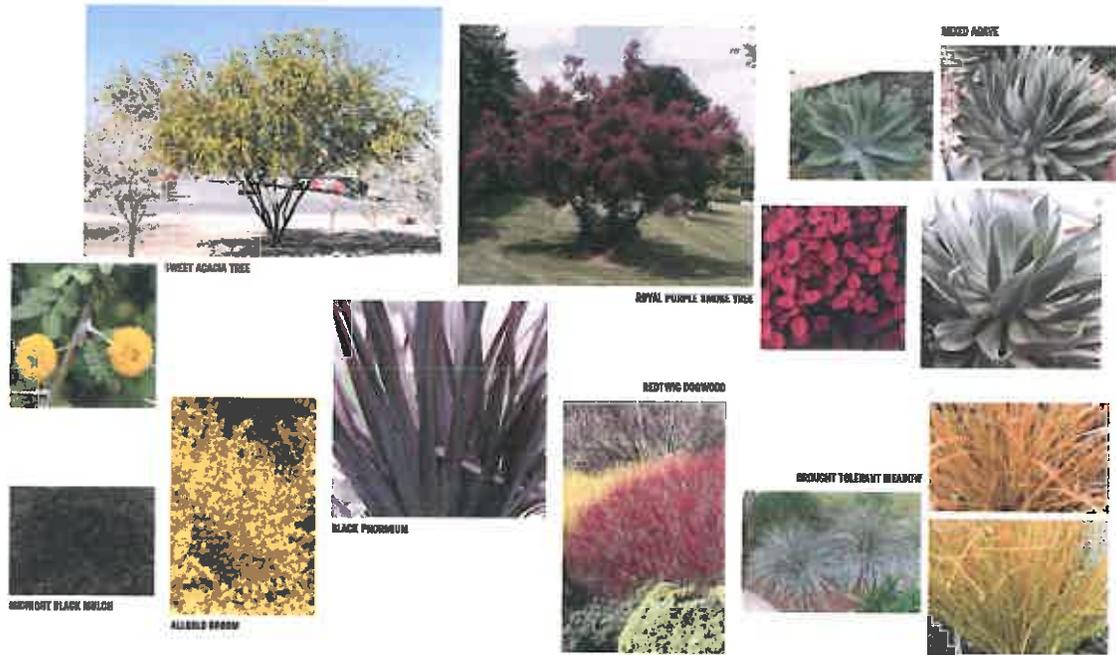


Figure 2 – Exhibit showing the fencing and entrances/exits



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Figure 3 – Photo of proposed landscaping material list



**MATERNIS + COLAS
LANDSCAPE PALETTE**
Santa Maria Seeds Warehouse
111 East San Antonio Drive, Santa Maria, CA
92676

3
CLIPART Application  

Figure 4 – Proposed Site Plan

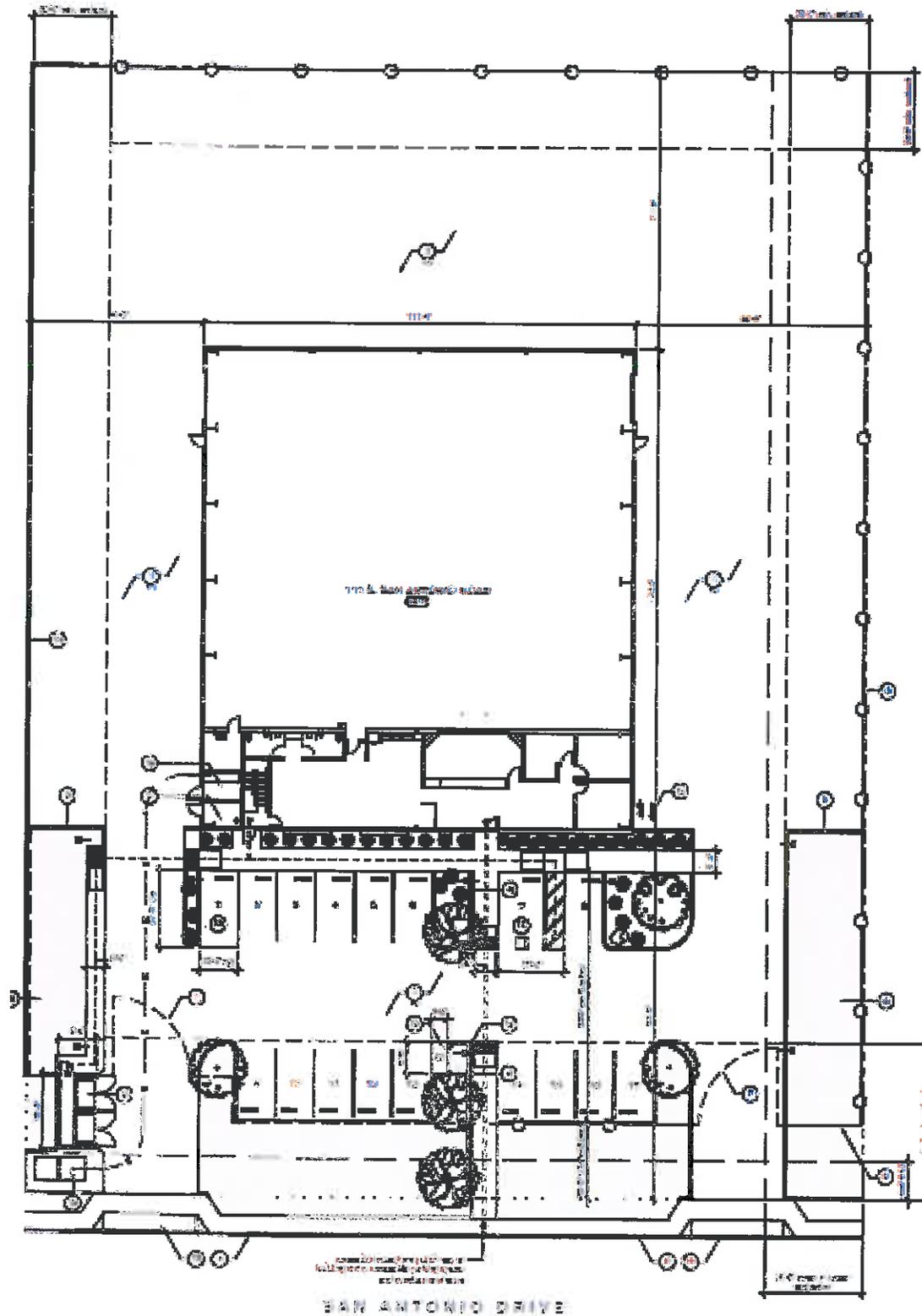


Figure 5 – Proposed floor plan

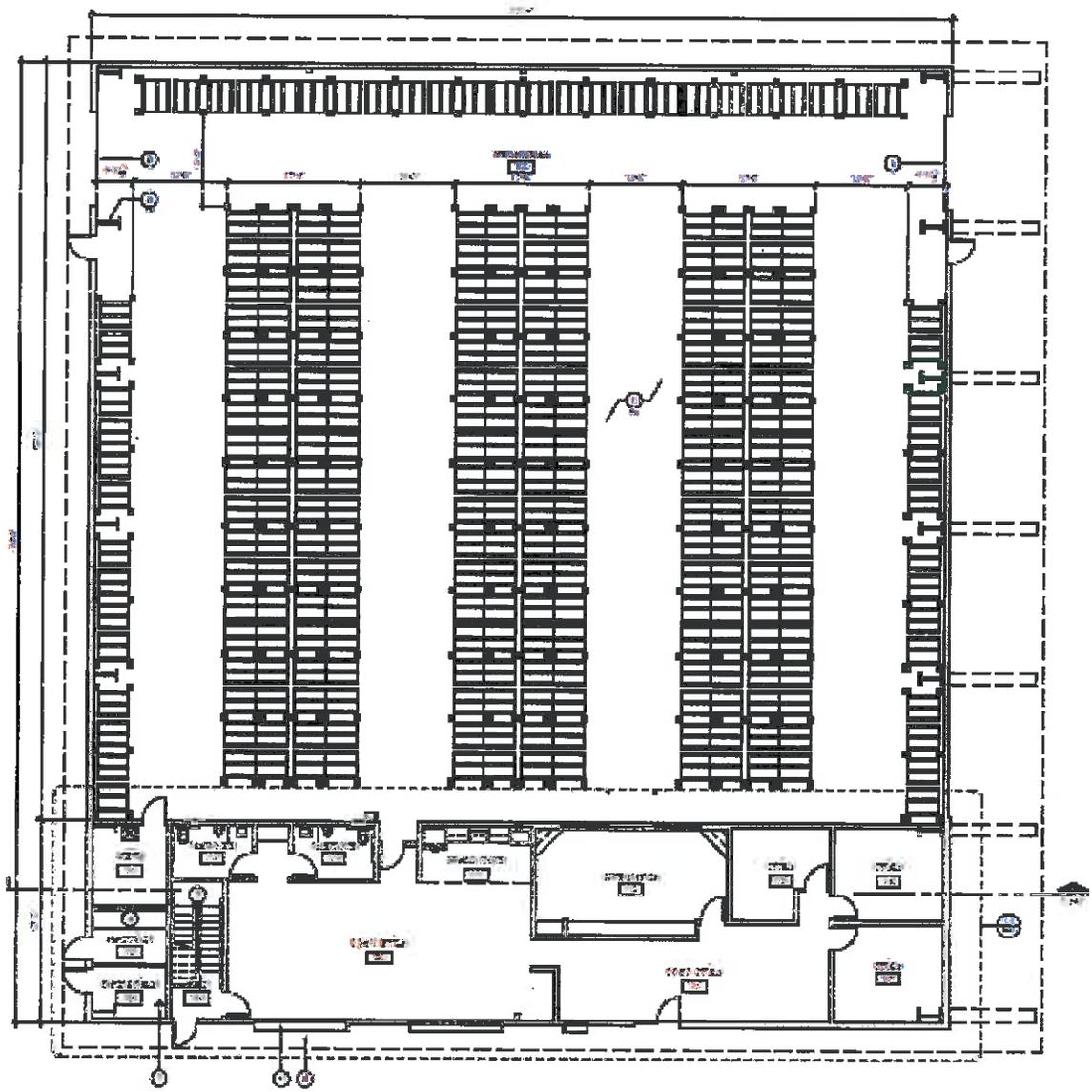


Figure 6 – Front elevation of building



Figure 7 – Cross-section of front of building

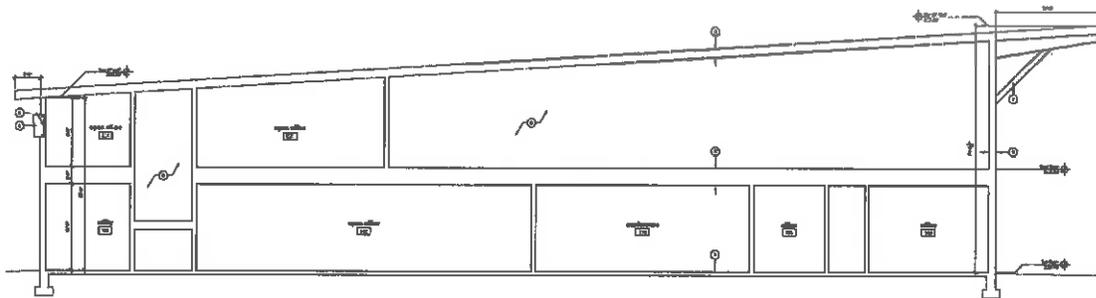


Figure 8 – West elevation of building

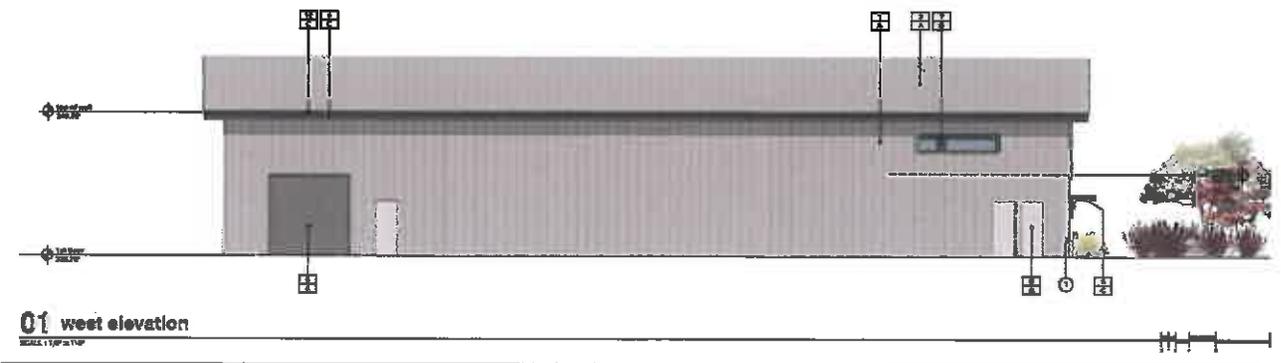


Figure 9 – East elevation of building

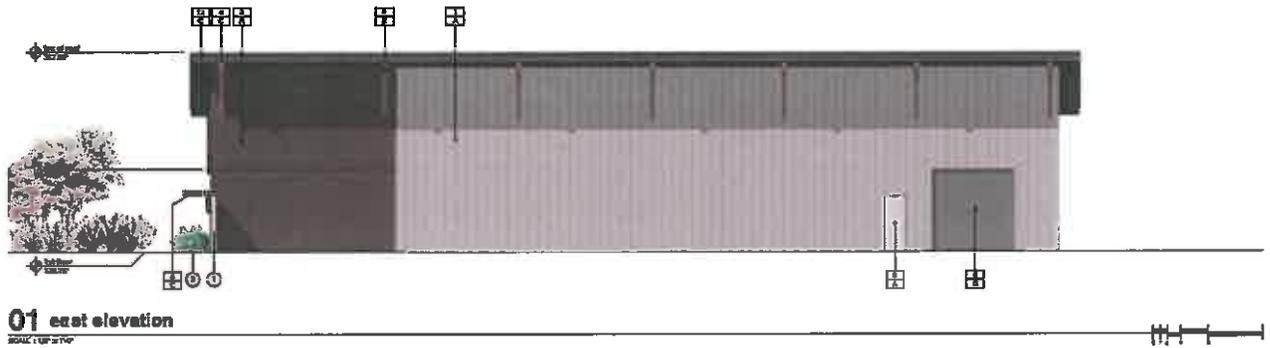
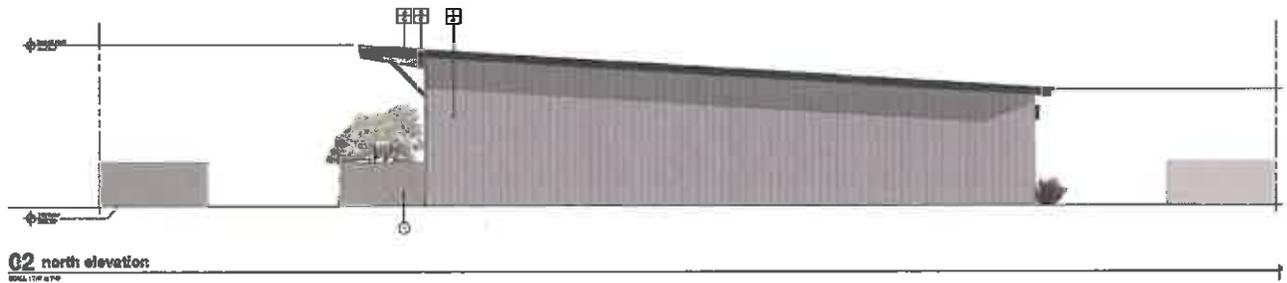


Figure 10 – Rear elevation of building



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Figure 13 – Front view plan showing proposed colors and materials



MATERIALS & COLORS
 SOUTH ELEVATION | SAN ANTONIO DRIVE
 Santa Maria Seeds Warehouse
 111 East San Antonio Drive, King City
 17.0606

EXHIBIT 2

CUP Case No. 2017-005 and AR Case No. 2017-002
FINDINGS OF FACTS

The purpose for making Findings of Facts to *"bridge the analytical gap between the raw evidence and ultimate decision"*. The Municipal Code gives the Planning Commission ("**Commission**") the authority to approve a project so long as the Commission can make certain findings. Written "findings of fact" are required in order to support the decision of the hearing body to approve or deny a project.

California Environmental Quality Act ("CEQA") Findings of Fact

An Initial Study was prepared for the proposed project. Because there is a potential for the project to have significant environmental impacts on the environment, based upon the requirements of the California Environmental Quality Act ("**CEQA**") it was determined that a Mitigated Negative Declaration would be prepared. The Mitigated Negative Declaration is attached to this report.

This Project's environmental review was prepared for the Project pursuant to the California Environmental Quality Act ("**CEQA**"). **The Mitigated Negative Declaration ("**MND**")** contains a list of mitigations that will result in a project that will not have significant environmental impacts provided that the project applicant implements the mitigation measures. (**Reference Exhibit 5.**) The Mitigation Measures identified in the initial study would reduce the impacts to a less than significant level.

- a. The proposed project does not have the potential to substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of an endangered, rare, or threatened species. It is possible during grading and construction activities that unknown cultural resources may be unearthed, which may result in a potentially significant impact. Implementation of the mitigation measures for Cultural Resources would ensure the proposed project would not eliminate important examples of the major periods of California history or prehistory.
- b. During construction related activities, the proposed project would have the potential to generate storm-related runoff pollutants. The project will be required to prepare a plan that addresses all potential pollutants, including but not limited to soil erosion and sediment, and that plan shall be followed during grading and construction as well as maintained for the entire term of the use of the property. Other measures to address the protection against all subsurface and surface pollution shall be implemented during construction and for the full duration of the use of the property.
- c. The proposed project would result in construction dust and equipment exhaust emissions, and noise that could cause a substantial adverse effect

on human beings. In addition, the primary uses of the site, which includes the storage, sale and distribution of chemicals related to agricultural products that are the business of the land owner. These impacts can be mitigated to a less than significant level with implementation of the mitigation measures contained in this initial study/mitigated negative declaration.

Conditional Use Permit (CUP) and Architectural Review Findings of Fact

- a. The proposed project is consistent with the requirements and policies of the City of King General Plan Light Industrial designation and Zoning Ordinance P-D Planned Development District and East Ranch Business Park Specific Plan ("**ERBP-SP**").
- b. The general appearance of the proposed building is in keeping with the character of the P-D district and its surrounding properties in the ERBP-SP planning area.
- c. The proposed building will not be detrimental to the harmonious and orderly growth of the City.
- d. The proposed building will not impair the desirability of investment or occupation in the P-D Zone District and ERBP-SP because the building, existing landscaping and other improvements are attractively designed and provided amenities that add to the value of the area.
- e. The COA as shown on **Exhibit 4** are necessary to protect the health, safety and general welfare of the community, to ensure that the City develops in an orderly manner, and to ensure that the Project operates in a manner that does not adversely affect the surrounding areas. The proposed use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.
- f. The proposed building will enhance the appearance from the street and will provide space for agricultural product warehousing that will benefit the farmers and provide for employment of local residents.

EXHIBIT 3

RESOLUTION NO. 2017-200

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF KING, ADOPTING THE MITIGATED NEGATIVE DECLARATION, AND APPROVING CONDITIONAL USE PERMIT CASE NO. CUP2017-005, ARCHITECTURAL REVIEW CASE NO. AR2017-002 FOR SANTA MARIA SEEDS FOR THE CONSTRUCTION OF A 14,510 SQUARE FOOT WAREHOUSE BUILDING WITH OFFICES LOCATED AT 111 E. SAN ANTONIO DRIVE ON ASSESSOR'S PARCEL NUMBER: APN026-521-038-000, KING CITY, CALIFORNIA.

WHEREAS, On **June 7, 2017**, Manny Silva III filed applications for Cases No. CUP2017-005 and AR2017-002 for the construction of a 14,510-square foot warehouse with offices on a vacant parcel 1.43 acres located at 111 E. San Antonio Drive, King City, CA;

WHEREAS, on **June 29, 2017**, the application was found to be complete;

WHEREAS, pursuant to the California Environmental Quality Act ("**CEQA**") Guidelines (14 Cal. Code Regs. §15000 et. seq.) and in accordance with the California Environmental Quality Act of 1970, the proposed project has the potential to result in significant adverse environmental impacts. The project does not require approval of an agency other the City of King;

WHEREAS, the Negative Declaration ("**ND**") was prepared and circulated for public and agency review with a twenty (20) day review period starting on **October 18, 2017** and **ending on November 6, 2017**, and provided an opportunity for the public and agencies to review the issues addressed and offer comments on any aspect of the environmental review process, or the adequacy of the evaluation;

WHEREAS, there are several potentially significant impacts that are deemed to apply to the project and therefore a Mitigation Monitoring and Reporting Program ("**MMRP**") is required;

WHEREAS, no later than **October 18, 2017**, the Intent to Adopt the ND was noticed in the King City Rustler Newspaper, and **October 25, 2017** a Notice of Public Hearing was noticed in the City Rustler Newspaper and Notice of Public Hearing was sent to all property owners within three-hundred feet (300') of the Project;

WHEREAS, on **November 7, 2017**, the Planning Commission held the first public hearing for the project;

WHEREAS, the ND and supporting documents have been reviewed, and all information, whether written or oral, presented during the public review period, has been considered by the Commission;

WHEREAS, the Commission has reviewed and considered the information provided in the Staff Report, MND, and testimony presented during the public hearing, and accepts the **Findings of Fact** as outlined in **Exhibit 2**, the MND as outlined in **Exhibit 5**, and the applicant's submittals shown in **Exhibit 6**;

WHEREAS, the Commission of the City of King, California, met at the duly noticed public hearing on **November 7, 2017**, at which time all interested persons were given the opportunity to be heard; and

WHEREAS, the Commission makes the followings Findings of Facts:

California Environmental Quality Act ("CEQA") Findings of Fact

This Project's environmental review was prepared for the Project pursuant to the California Environmental Quality Act ("**CEQA**"). **The Initial Study and Mitigated Negative Declaration indicated that the proposed project has no potential to result in significant adverse environmental impacts. (Reference Exhibit 5.)**

- a. The proposed project does not have the potential to substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of an endangered, rare, or threatened species. It is possible during grading and construction activities that unknown cultural resources may be unearthed, which may result in a potentially significant impact. Implementation of the mitigation measures for Cultural Resources would ensure the proposed project would not eliminate important examples of the major periods of California history or prehistory.
- b. During construction related activities, the proposed project would have the potential to generate storm-related runoff pollutants. The project will be required to prepare a plan that addresses all potential pollutants, including but not limited to soil erosion and sediment, and that plan shall be followed during grading and construction as well as maintained for the entire term of the use of the property. Other measures to address the protection against all subsurface and surface pollution shall be implemented during construction and for the full duration of the use of the property. Measures, including those described in COA's **28, 31, 33, and 35**, will ensure that the groundwater and surface water runoff will not be polluted.
- c. The proposed project would result in construction dust and equipment exhaust emissions, and noise that could cause a substantial adverse effect on human beings. In addition, the primary uses of the site, which includes the storage, sale and distribution of chemicals related to agricultural products that are the business of the landowner. These impacts can be mitigated to a less than significant level with implementation of the mitigation measures contained in this initial study/mitigated negative declaration.

**Conditional Use Permit (CUP) and Architectural Review Permit (AR)
Findings of Fact.**

- a. The proposed project is consistent with the requirements and policies of the City of King General Plan Light Industrial designation and Zoning Ordinance

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P-D Planned Development District and the East Ranch Business Park Specific Plan.

- b. The general appearance of the proposed building is in keeping with the character of the P-D district and its surrounding properties.
- c. The proposed building will not be detrimental to the harmonious and orderly growth of the City.
- d. The proposed building will not impair the desirability of investment or occupation in the P-D Zone District because the building, existing landscaping and other improvements are attractively designed and provided amenities that add to the value of the area.
- e. The COA as shown on **Exhibit 4** are necessary to protect the health, safety and general welfare of the community, to ensure that the City develops in an orderly manner, and to ensure that the Project operates in a manner that does not adversely affect the surrounding areas. The proposed use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.
- f. The proposed building will enhance the appearance from the street and will provide space for agricultural product warehousing that will benefit the farmers and provide for employment of local residents.

NOW, THEREFORE, BE IT HEREBY RESOLVED that the Planning Commission of the City of King approves Mitigated Negative Declaration ("**MND**"), (**Exhibit 5**) and approve Conditional Use Permit Case CUP2017-005 and Architectural Review Permit Case AR2017-002 for the permit to construct a 14,510-square foot warehouse building on approximately 1.43 acres and the project submittals (**Exhibit 6**) as presented.

This resolution was passed and adopted this 7th day of November, 2017, by the following vote:

AYES:

NAYS:

ABSENT:

ABSTAIN:

DAVID NUCK, CHAIRPERSON

ATTEST: _____
ERICA SONNE, SECRETARY TO THE PLANNING COMMISSION

EXHIBIT 4

CONDITIONS OF APPROVAL & MITIGATION MEASURES
PROJECT CASE NUMBERS
CUP2017-005 AND AR2017-002

Community Development Department (The applicant should discuss the following conditions of approval ("**COA**") with Maricruz Aguilar-Navarro, 831-386-5916, if there are any questions):

1. **Project Description:** Conditional Use Permit Case No. CUP2017-005, Architectural Review Case No. AR2017-002 is a request to construct a new 14,510 square foot storage warehouse with associated offices on a vacant lot of 111 E. San Antonio Drive. The proposed project is for storage of vegetable seeds, office space and sales operation for Santa Maria Seeds. The property is within the Light Industrial ("**LI**") General Land Use designation and Planned Development –Specific Plan ("**PD/SP**") on the Zoning Map. The warehouse shall be constructed in accordance with **Exhibit 6 and Figures 1 through 13 contained in the staff report**, and as Conditioned below, as approved by the Planning Commission on **November 7, 2017**.
2. **Approval Period:** The approval period for this permit shall be in accordance with the approved drawings and sketches and shall be null and void if not used within one (1) year from the date of the approval. Then the approval shall immediately expire and any building permit issued in reliance thereon shall be deemed cancelled and revoked. Municipal Code Section 17.64.030 prohibits any time extensions of the CUP beyond one year from the date of approval. No extension shall be permitted for the CUP as required by Municipal Code Section 17.64.030.
3. **Hold Harmless Clause:** Hold Harmless and Indemnification Clause: The applicant agrees, as part of and in connection with each and all the applications and approvals, to defend, indemnify, and hold harmless the City of King ("**City**") and its elected officials, officers, contractors, consultants (including Earth Design International, Hanna & Brunetti, Aleshire & Wynder, attorneys), employees and agents (including Earth Design International, and Hanna & Brunetti) from any and all claim(s), action(s), or proceeding(s) (collectively referred to as "proceeding") brought against City or its officers, contractors, consultants, attorneys, employees, or agents (including Earth Design International, Aleshire & Wynder, attorneys, and Hanna & Brunetti) to challenge, attack, set aside, void, or annul:

Any approvals issued in connection with all approvals, actions and applications by City covered by the conditions of approval and/or mitigation measures; and/or

Any action and approvals taken to provide related environmental clearance under the California Environmental Quality Act of 1970, as amended ("**CEQA**") by City's advisory agencies, boards or commissions; appeals boards or

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commissions; Planning Commission, or City Council. The applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by City, if any, and costs of suit, claim or litigation, including without limitation attorneys' fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, *City, and/or parties initiating or involved in such proceeding.*

The applicant agrees to indemnify City and its elected officials, officers, contractors, consultants, attorneys, employees and agents (including Earth Design International, Hanna & Brunetti, Aleshire & Wynder, attorneys) for all of City's costs, fees, and damages incurred in enforcing the **indemnification** provisions of this Agreement.

The applicant agrees to defend, indemnify and **hold harmless** City, its elected officials, officers, contractors, consultants (including Earth Design International, Hanna & Brunetti, Aleshire & Wynder, attorneys), attorneys, employees and agents (including Earth Design International, and Hanna & Brunetti) from and for all costs and fees incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending, any document (including, but not limited to, an environmental impact report, sphere of influence amendment, annexation, pre-zoning, general plan amendment, specific plan, vesting tentative tracts, sign applications, variances, conditional use permits, architectural review, etc.), if made necessary by said proceeding, and if the applicant desires to pursue such City approvals and/or clearances, after initiation of the proceeding and that are conditioned on the approval of these documents.

In the event that the applicant is required to defend City in connection with such proceeding, City shall have and retain the right to approve:

The counsel to so defend City.

All significant decisions concerning the manner in which the defense is conducted; and

Any and all settlements.

City shall also have and retain the right to not participate in the defense, except that City agrees to reasonably cooperate with the applicant in the defense of the proceeding. If the City chooses to have counsel of its own defend any proceeding where the applicant has already retained counsel to defend City in such matters, the fees and expenses of the additional counsel selected by City shall be paid by City. Notwithstanding the immediately preceding sentence, if City's Attorney's Office participates in the defense, any and all City Attorney, Staff and consultants' fees and costs shall be paid by the applicant. In addition, in the event of litigation, the applicant shall pay any and all City Staff and consultants' fees and costs.

The applicant's defense and indemnification of City set forth herein shall remain

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in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgments rendered in the proceeding.

4. **Other County, State and Federal Permits:** Before initiation of the proposed use, the applicant shall provide copies of any required County, State and Federal permits or written verification of a waiver of permit requirement.
5. **Structural Changes:** Installation shall be in substantial conformance with the plans, conditions of approval presented to and approved by the Planning Commission in connection with the project. No conditions, colors, materials or architectural features shall be eliminated, added or modified without Commission review and action, amended CUP, as applicable. The Community Development Director or her/his representative shall review plans for substantial conformance with the plans approved by the Planning Commission. Any major modifications shall require approval of the Planning Commission.

City of King Building and Safety Department (The applicant should discuss the building permit submittal process with Joe Strasser, Contract City Building Official, Building and Safety Department at (831) 386-5915.)

6. **Building Plans:** All COA shall be imprinted on plans submitted for building permits. Building plans shall comply with the current Title 24 California Building Standards Codes. Also, due to the proposed second floor area, Plans shall be certified by California Accessibilities Specialist.
7. **Soils Report:** As part of the building permit submittal, the applicant shall submit a Soils Report prepared by a State of California-Registered Engineer or State of California-Registered Geotechnical Engineer. The Soils Report shall be reviewed and approved by the Chief Building Official. A soils report and/or percolation tests may also be required by the City Engineer and/or Regional Water Quality Control Board ("***RWQCB***") to determine measures to meet erosion and sediment control requirements for the project and final improvements.
8. **Pad Elevation Certification:** The pad elevation certification may be submitted upon foundation inspection.
9. **Lighting:** Adequate security lighting shall be provided. The lighting shall meet all standards contained in the East Ranch Business Park Specific Plan. As part of the building permit submittal, a lighting plan shall be submitted for review by the Building and Safety Department, Community Development Department and Police Department and identify in the design how to prevent glare into the public areas. All outdoor lighting shall be hooded and directed so as not to shine on public roads or surrounding properties. Where appropriate, light-emitting diode ("***LED***") lighting should be used for external lighting to reduce the site's electricity consumption. Pole light fixtures in parking areas shall not exceed thirty feet (30') in height.
10. **Business License:** Before issuance of a building permit, a business

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license shall be obtained for every person conducting or carrying on the business of general contractor or contractor constructing, altering, repairing, wrecking or salvaging buildings, highways, roads, railroads, excavations or other structures, projects, developments or improvements.

Every person conducting or carrying on the business of electrical, plumbing or painting subcontractor.

Every person conducting or carrying on the business of masonry, glazier, cement, floor, heating, plastering, roofing, sash, sheet metal, tile, lathing and any other subcontractor not specifically mentioned in this Title 5 of the Municipal Code.

Every person conducting or carrying on the business of house moving, grading, paving, wrecking, sewer construction, pipeline construction, trenching, or excavating.

Public Works Department (The applicant should contact City Engineer, Octavio Hurtado, Hanna & Brunetti 408-842-2173, ohurtado@hannabrunetti.com, regarding the following COA, if there are any questions.)

- 11. Improvement Plans:** Project Drainage, Grading, Utilities, and Site Plans shall be prepared and signed by a Licensed Civil Engineer. Onsite signage (stop signs, etc. at driveways shall be included in plan submittal). All Plan Review and Construction Observation/Inspection costs shall be paid by the applicant. A deposit to cover said costs will be required. Improvements in Public Right of Way or Easements shall conform to the City of King design standards (latest edition). All improvements shall be these standards, unless noted otherwise. The applicant shall provide vehicle sight and stopping distance for any/all obstructions including but not limited to landscaping, signs, or other items are placed in/near intersections. All construction shall be to and provide ADA (Americans with Disabilities Act) access. Improvements in public right-of-way or easements shall conform to the City of King design standards (latest edition). All improvements shall be to these standards, unless noted otherwise. All work/improvements in shall be inspected by and be from Improvement Plans reviewed and Approved by City Engineer.
- 12. Grading and Drainage Plans:** Before issuance of any building permit, the applicant shall submit grading and drainage plans for the City Engineer review and approval. The grading and drainage plans shall be folded accordion style and no larger than 8.5' x 14". The grading and drainage Plans shall include:
 - a. *Drainage Plan.*
 - b. *Best Management Practices Plans ("NPDES"). The NPDES must include:*
 - i. *Permanent: Urban Storm Water Management Plan.*
 - ii. *Construction: Storm Water Pollution Prevention Plan.*

iii. Construction during November -April: Wet Weather Erosion Control Plan.

The Grading and Drainage Plan shall be signed and stamped by a State of California-Registered Civil Engineer. All grading shall be done in conformance with City standards and to the satisfaction of the City Engineer.

13. **Infrastructure and Underground Utilities:** Before issuance of a building permit, an Infrastructure and Utility Plan for the entire site shall be submitted to and approved by the City Engineer. The underground utilities shall include storm drain piping, sanitary sewer, water piping, and other requirements per City standards.
14. **Encroachment Permit and Public Improvements:** Before starting street frontage improvements, the applicant shall be required to obtain a City of King encroachment permit for all work in City right of way (e.g., sidewalk, curb, gutter, driveway, roadway, alley). The applicant is required to provide plans and improvements for all required improvements within the right-of-way, including sidewalks, curbs, gutters and landscaping within the right-of-way consistent with the improvements required for East San Antonio Drive.
15. **Infrastructure and Underground Utilities:** Before issuance of a building permit, an Infrastructure and Utility Plan for the entire site shall be submitted to and approved by the City Engineer. The underground utilities shall include storm drain piping, sanitary sewer, water piping, and other requirements per City standards. The applicant shall obtain and pay all associated permits/fees/costs for any/all Utility Companies (including but not limited to PG&E, Telephone, TV, California Water System) and any/all governmental agencies.
16. **Utilities:** The applicant shall obtain and pay all associated permits/fees/costs for any/all utility companies and any/all government agencies as applicable.
17. **City & Regional Traffic Impact Fee (MM T-1):** Before issuance of any building permit, the applicant shall participate in the City's development impact fee program as a condition of approval of the building permit. The applicant shall consult with the Transportation Agency for Monterey County ("**TAMC**") to determine the project should pay the regional traffic mitigation fee pursuant to the TAMC Nexus Study to the City of King Building and Safety Department. Participation in the City's development impact fee program shall be as a COA of the building permit. Development impact fees offset the costs of increased demand resulting from new development to public facilities and to streets, traffic signals and bridges. The proposed project would be subject to compliance with this provision of the municipal code as a standard COA.
18. **Submittal of Erosion and Sediment Control Measures and SWPPP (MM HY-1):** Prior to any construction, erosion and sediment control measures for grading and construction as well as for the permanent project shall be prepared and approved by the City Engineer. In addition, if required by State and Federal

Law, a Stormwater Pollution Prevention Plan ("**SWPPP**") may be required to be submitted to the City Engineer for review and approval, depending on size of project. To prevent silt and debris from entering the existing storm drain system during construction, the developer shall utilize storm drain inlet interceptors or filters to protect the existing storm drain. Soils and/or percolation test(s) may be required by the City Engineer and/or RWQCB to identify measures necessary to maintain and reduce stormwater on-site and other measures to provide erosion, sediment and pollution control at the site.

Miscellaneous Conditions:

19. **Sign Permit:** This CUP Permit does not constitute a Sign Permit. Before installing any signs on the property, the applicant shall make a separate application and obtain an approved sign permit by the Community Development Department. Contact the Community Development Department regarding application procedures for Sign Permit(s). All signs should be compatible with the structure and site design relative to color, material, and placement. The signs shall conform to the ERBP-SP and requirements of Municipal Code Section 17.55. Window coverage should be limited to the standards as described in Municipal Code Section 17.55.
20. **Landscaping Documentation Package:** Prior to issuance of a building permit, if landscaping is proposed as part of a drainage and erosion control plan or required by the RWQCB for drainage control, in accordance with State law, the applicant shall submit to the Community Development Department ("**Department**") for review and approval a Landscape Document Package consistent with the State of California Water Efficiency Landscape Ordinance Model ("**Model**"), dated **September 10, 2009**. Prior to issuance of a certificate of compliance, the applicant shall submit to the Department the certificate of completion in accordance with the Model. With the exception of landscaping for bioretention basins and other similar pollution control measures, no additional landscaping is deemed to be required. All existing landscaping will be maintained.
21. **Landscape and Irrigation Plans:** At the time of building permit submittal, if required as part of any drainage and erosion control plan, the applicant shall submit a Final landscape and irrigation system design to the Community Development Department for final sign-off by the Community Development Director ("**Director**") and City Engineer. Landscaping will utilize water-conserving drought resistant plants that will function as screening and enhance the building appearance and include a water conserving automatic irrigation system to be approved by the Director, consistent with **Figures 1, 2, 3 and 4**. Plans shall indicate methods of planting, sizes of initial landscape materials, ground covers, durable mulch cover and other details of landscaping. Irrigation water shall not overthrow onto walks, common areas, or onto any architectural walls.

- a. **Runoff:** The site plan shall address all runoff in conformance with current storm water regulations. All runoff shall be directed to approved new landscaping areas and shall be designed to properly address pollution control. Landscape areas shall be designed by both the project engineer and landscape designer to incorporate bioremediation measures that will ensure that one-hundred (100%) percent of the runoff from the building and paved areas will infiltrate through a plant and soil medium that provides for bioremediation of any pollutants in the runoff and upper soil layer.
22. **Trash Enclosure and Electrical Boxes and Transformers:** At the time of building permit submittal, the applicant shall submit plans showing the relocation of the proposed decorative block wall trash enclosure behind the required twenty (20') foot front setback. All electric boxes shall be screened in a manner to be approved by the Community Development Director.
23. **Screening of Roof and Ground Equipment:** At the time of building permit submittal, the applicant shall submit plans showing the methods of screening of roof-mounted and ground mounted equipment such as, but not limited to air conditioning and other equipment. Site and roof-mounted equipment shall be painted and screened from adjacent public street visibility and shall coordinate with architectural features of the building. Well maintained satellite dishes may be left unpainted. These details must appear on elevations submitted for architectural review. Ground mounted equipment should be screened by walls or effectively by landscaping.
24. **Windows and energy conservation:** At the time of building permit submittal, the Plans shall indicate and the Director shall ensure that all windows and main entrance doors will be bronze glass for appearance and energy conservation.
25. **Other electrical and mechanical equipment and fixtures:** At the time of building permit submittal, the Plans shall indicate and the Director shall ensure that all electrical and mechanical apparatus and fixtures located on exterior walls shall be concealed from street visibility in a manner consistent with the architectural design of the building.
- City of King Fire Department** (The applicant should contact the Fire Chief and the Chief Building Official for any Fire Life Safety questions at (831) 386-5915.)
26. **Automated Fire Suppression System:** Concurrent with the building permit application, the applicant shall submit automated fire suppression system plans to the Building and Safety Department. The fire suppression system plans shall be reviewed and approved by the City Engineer and Fire Department, **before final of final occupancy permit**. The fire sprinkler plans will also need to be routed to the city contracted fire plans examiner Art Black, Carmel Fire for Fire Plan Review.

Conditions for Project Mitigation Measures:

Following are Conditions to Address Mitigated Negative Declaration Mitigation Measures. Following are the mitigation measures that comprise the Mitigation Monitoring Reporting Plan ("**MMRP**") and, when implemented, will reduce the potential impacts of the project to less than significant. Where it is indicated that the "applicant" is responsible, said responsibility, if the property or building is sold, shall continue to be with the current and future landowners. These measures are part of the approved Mitigated Negative Declaration ("**MND**"). The MMRP is designed to ensure that, during Project Implementation, the City of King and any other responsible parties comply with the feasible mitigation measures adopted by the City and described in this document. The location of the record of proceedings is the Community Development Department, City of King.

- 27. Mitigation Measure No. 1.a, b, c and d:** Project shall locate the trash enclosure behind the front setback and landscape the area in front of the trash enclosure and, additionally landscape the area in front of existing electrical boxes as feasible. Project shall also comply with the ERBP-SP requirements for irrigation and lighting. Further, Mansard roofs, parapets, overhangs, and awnings will be decorative and coordinated with the architecture and colors of the building. Visible roofing materials on these features will be tile or architectural metal. Composition, tar and rock roofing materials are not acceptable for visible roofing. Site and roof-mounted equipment shall be painted and screened from adjacent public street visibility and shall coordinate with architectural features of the building. Well maintained antenna towers and satellite dishes may be left unpainted. These details must appear on elevations submitted for architectural review. Windows and main entrance doors will be bronze glass for appearance and energy conservation or applicant will provide for glass, window and door treatment that performs equivalently for energy conservation and complements the building architecture. Wind barriers consistent with the architecture and colors of the building may be built to a maximum height of thirty (30') feet and not to exceed the height of the building. Electrical and mechanical apparatus and fixtures located on exterior walls shall be concealed from street visibility in a manner consistent with the architectural design of the building. Dumpsters and trash collection areas must be enclosed or suitably screened from street visibility.

Implementation Party: Applicant and Owner

Enforcement Agency: City of King

Timing: Plan showing relocated trash enclosures and any above-ground electrical boxes required to be prepared and approved, **prior to issuance of building permit and implemented during grading and construction.**

Implementation Responsibility: The applicant shall prepare revision to plans, **prior to issuance of building permit.**

28. Mitigation Measure No. 3.e: A plan shall be prepared by the project engineer or Certified Professional Erosion Control Specialist (for dust, chemical pollution and erosion control) to ensure these measures are implemented. Where appropriate, said dust protection plan may be part of a project erosion and sediment control plan. All new projects must comply with all Federal, State, Regional, and local air quality standards. State law requires any facility that has the potential to emit air contaminants to apply for a permit from Monterey Bay Unified Air Pollution Control District ("**MBUAPCD**"). Additionally, if development within the Project includes other sources that are exempt from MBUAPCD permit authority (e.g., indirect sources, fugitive area sources), all direct and indirect emissions should be compared to the appropriate threshold(s) of significance. When net emissions from a new or modified facility exceed State thresholds, the increase shall be offset. New businesses and/or tenants of the facility shall consult directly with the MBUAPCD for permitting requirements and compliance with air quality standards.

Implementation Party: Applicant and Owner

Enforcement Agency: Monterey Bay Unified Air Pollution Control District

Timing: Plan required to be prepared and approved, **prior to issuance of building permit and implemented during grading and construction.**

Implementation Responsibility: The applicant shall implement measures constantly through grading and construction. Measures to prevent dust shall continue after completion of project.

29. Mitigation Measure No. 5.a, 5.b, 5.c, 5.d: Cultural Resources: In the event of an accidental discovery or recognition of any human remains, archaeological resources, paleontological resources or historical resources on the project site, if said resources are found during excavation or construction, work will be halted at a minimum of thirty (30') feet from the find and the area will be staked off. There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie cultural resources, paleontological resources, historical resources or, in the case of adjacent human remains until the coroner of Monterey County is contacted to determine that no investigation of the cause of death is required. If the coroner determines the remains to be Native American the coroner shall contact the Native American Heritage Commission within 24 hours. A qualified professional (to be hired by the applicant and accepted by the City) in cultural resources, paleontological resources or historical resources shall evaluate the resources discovered at the site and provide recommendations for disposition of those resources. In the case of human remains, the Native American Heritage Commission shall identify the person or persons it believes to be the most likely descendent ("**MLD**") from the deceased Native American. The MLD may then make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and associated grave goods as provided in Public

Resources Code Section 5097.98. The landowner or its authorized representative shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further disturbance if: a) the Native American Heritage Commission is unable to identify a MLD or the MLD failed to make a recommendation within 24 hours after being notified by the commission; b) the descendent identified fails to make a recommendation; or c) the landowner or its authorized representative rejects the recommendation of the descendent, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.”

Implementation Party: Applicant and Owner

Enforcement Agency: City of King

Timing: Evaluation required during grading and construction of project. The contractor and applicant shall diligently watch for any potential materials that may be of archaeological, historic or paleontological significance.

Implementation Responsibility: Cost and materials are responsibility of applicant

30. Mitigation Measure No. 6.a: Prior to grading and construction, a soils report will be required and the structure will be designed to meet the requirements specified in that report. The architect or structural engineer shall verify that the structure will meet all seismic requirements.

Implementation Party: Applicant and Owner

Enforcement Agency: City of King

Timing: Soils information shall be provided to the Building Official as required to make determinations regarding structure and site stability.

Implementation Responsibility: Cost and materials are responsibility of the applicant

31. Mitigation Measure No. 6.b: Prior to grading and construction, a plan to address grading and construction-related rainstorm erosion and sedimentation shall be prepared and approved by the City Engineer. Measures shall include erosion protection during rainstorms by protection of the soil using methods to be approved by the City Engineer. After construction, permanent erosion control and measures to maintain rainstorm flows on-site will be employed as approved by the City Engineer.

In addition, the project will disturb an area of over one-acre and therefore requires the preparation and approval of a Stormwater Pollution Prevention Plan (“**SWPPP**”) as required by the State of California State Water Resources Control Board and Central Coast Regional Water Quality Control Board. The SWPPP shall be approved, **prior to issuance of grading and building permits.** Compliance with the erosion and sediment control measures are the responsibility of the property owner.

Implementation Party: Applicant and Owner

Enforcement Agency: RWQCB and City of King

Timing: SWPPP, erosion and sedimentation plan shall be prepared and approved, **prior to the issuance of the grading and building permit.** Plan to be reviewed by the City Engineer and approved by the RWQCB. Measures shall be applied during entire period of grading and construction. Measures shall also be implemented after the completion of the project for the life of the project.

Implementation Responsibility: Cost and materials are responsibility of the applicant

- 32. Mitigation Measure No. 7.a:** The applicant shall store, maintain and transport materials (including but not limited to fertilizers, pesticides and agricultural amendments and products) in the manner recommended by the manufacturer of those products and shall further comply with all local, state and federal safety standards related to the storage and handling of said products and materials.

Implementation Party: Applicant and Owner

Enforcement Agency: County of Monterey Environmental Health and City of King

Timing: Measures shall be implemented for the life of the project.

Implementation Responsibility: Cost and materials are responsibility of the applicant

- 33. Mitigation Measure No. 8.a&d:** The City Engineer shall review each project to assure compliance with these requirements, "POST-CONSTRUCTION STORMWATER MANAGEMENT REQUIREMENTS FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION." These RWQCB standards include BMPs for erosion and sediment control during project construction and after completion of the project. LID measures include, but are not limited to: i) limiting disturbance of creeks and natural drainage features, minimizing compaction of highly permeable soils, limiting removal of native vegetation at the site to the minimum area needed to build the project, limiting impermeable surfaces, including buildings and paving, and the use of innovative design layout that further increases permeable surfaces and landscaping. Measures shall include those necessary to protect water quality during the grading and construction period as well as permanent measures after completion of the project. If required by the RWQCB, a SWPPP shall be prepared. If required, said Draft and Final SWPPP documents shall be submitted to the City Engineer, **prior to issuance of a building permit.**

Development shall minimize stormwater runoff by implementing one or more of the following site design measures identified by the RWQCB:

- (1) Direct roof runoff into cisterns or rain barrels for reuse

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- (2) Direct roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California building code
- (3) Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California building code
- (4) Direct runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California building code
- (5) Construct bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces
- (6) The directing of runoff to bioretention basins,
- (7) Other similar measures as determined by the City Engineer.

Implementation Party: Applicant and Owner

Enforcement Agency: RWQCB and City of King

Timing: Plan shall be approved by the RWQCB and City Engineer and implemented for all grading, construction and for the life of the project on a long-term basis.

Implementation Responsibility: Cost and materials are responsibility of the applicant

34. Mitigation Measure No. 14.f: The applicant shall improve seventeen (17) parking spaces for the proposed use. The front parking area will have sixteen (16) standard spaces with one (1) accessible parking space or as required by State and Federal law. The Director and City Engineer to review and approve plans and improvements for these parking spaces. Parking spaces and driveways shall be either two inches of asphalt over four inches of base or suitable pavers over base with adjacent landscaping areas as described on the project submittals. Driveway entrances shall require encroachment permits to be reviewed and approved by the City.

Implementation Party: Applicant and Owner

Enforcement Agency: City of King

Timing: Plan for parking to be prepared by the applicant and approved by the Director and City Engineer, **prior to issuance of building permit.**

Implementation Responsibility: Cost and materials are responsibility of the applicant

35. Mitigation Measure No. 15.c: The applicant shall be required to meet all measures for stormwater pollution control, waste management, and provide public utility connections that comply with the City and other service providers.

Implementation Party: Applicant and Owner

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Enforcement Agency: RWQCB and City of King

Timing: Measures for Low Impact Development ("**LID**") shall be prepared by the applicant and approved by the City Engineer, **prior to issuance of building permit**. Measures shall be implemented for the life of the use of the site.

Conditional Use Condition, Variance Permit and Architectural Review Agreement

The Conditional Use Permit, Variance Permit and Architectural Review are **not** valid until all Conditions of Approval ("**COA**") and mitigated measures imposed by the Planning Commission are signed for and agreed to by the applicant.

I have received a copy of the Conditional Use Permit, Variance and Architectural Review Conditions of Approval and Mitigated Measures, and agree with them. I understand that if I do not abide by them the Planning Commission has the authority to revoke my conditional use permit, pursuant to the Municipal Code. (Reference Municipal Code §17.64.040.).

Applicant Signature: _____ Date: _____

EXHIBIT 5



INITIAL STUDY AND DRAFT MITIGATED NEGATIVE DECLARATION

DATE: October 13, 2017

Proposed Santa Maria Seeds Warehouse for Agricultural Materials

Construction of a New 14,510 square foot Storage Warehouse for Storage of Agricultural Seed Products Including Offices

Location: 111 East San Antonio Drive, King City, Ca 93930

The project is located within the East Ranch Business Park Specific Plan Area
The General Plan Land Use Designation is Light Industrial ("LI") and
Zoning is Planned Development ("P-D")

In Compliance with the
California Environmental Quality Act ("CEQA")



CONCEPTUAL EXTERIOR VIEW

Santa Maria Seeds Warehouse
111 East San Antonio Drive, King City, CA 93930



General Information About This Document

What's in this document?

The City of King has prepared this Initial Study and Mitigated Negative Declaration ("IS-MND") which examines the potential environmental impacts of the proposed project. The document describes the project, which includes the review of a new approximately 14,510 square foot storage warehouse including offices at 111 East San Antonio Drive, King City, CA 93930, the property is within the "P-D" Planned Development District and "LI" Light Industrial General Plan Land Use Designation. The project is also within the East Ranch Business Park Specific Plan ("ERBP-SP") area. The project also includes an Architectural Review Permit.

The IS-MND also describes the existing environment that could be affected by the project, potential impacts, if any, of the proposed project, and proposed avoidance, minimization, and/or mitigation measures. The project is deemed to not to have regional or statewide significant environmental impacts.

What should you do?

- Please read this document. Additional copies of this document are available for review at the City Community Development Department, 212 South Vanderhurst Avenue, King City, California.
- Attend the Public Hearings. The Planning Commission will conduct a public hearing on the Initial Study and Mitigated Negative Declaration on **November 7, 2017** at City Hall, 212 South Vanderhurst Avenue.
- We welcome your comments. If you have any concerns about the proposed project, please attend the Planning Commission Public Hearing on **November 7, 2017**. The deadline for written comments ends on **November 6, 2017**.
- If you have any questions, please contact the Community Development Department:

Community Development Department
City of King
212 South Vanderhurst Avenue
King City CA 93930
Phone: 831-385-3281
Fax: 831-385-6887

Or you can send questions via email to: maguilar@kingcity.com

What happens next?

After comments are received from the public and reviewing agencies, the Planning Commission, on **November 7, 2017**, may:

- 1) give environmental approval and approval of the proposed construction, or
- 2) require additional environmental studies, or
- 3) require changes to the project or deny the project, if there are issues that cannot be mitigated.

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ATTACHMENTS

Correspondence

I. PROJECT INFORMATION

Project Title: Santa Maria Seed Company – New Storage Warehouse

Case Number: CUP 2017-005, AR 2017-002

Lead Agency: City of King City Phone: 831.385.3281
212 S. Vanderhurst Avenue Fax: 831.385.6887
King City, CA

Project Applicant: Manny Silva III, Santa Maria Seeds Phone: (805) 922-5757
2390 A Street Fax: _____
Santa Maria, CA 93455

Project Landowner: Manny Silva III, Santa Maria Seeds Phone: (805) 922-5757

Project Designer Bryan Ridley [architect] Phone: (805) 704-0535
Bracket Architecture, Fax: _____
br@bracketao.com

Project Description: The project consists of constructing a new 14,510 square foot storage warehouse including offices. The purpose of the warehouse is to store agricultural seed and other agricultural products

Project Location: 111 East San Antonio Drive, King City, CA 93930

Assessor Parcel Number(s) APN: 026-521-038

General Plan Designation: Light Industrial (LI)
Zoning: Planned Development (P-D), East Ranch Business Park Specific Plan

Project Lead: Doreen Liberto, Community Fax: 831-385.6887
Development Director & Don Funk,
Principal Planner Phone: 831.386.5916
Maricruz Aguilar-Navarro, Assistant
Planner
212 So. Vanderhurst Ave.,
King City, CA 93930

Project Description:

Project Address: 111 East San Antonio Drive APN: 026-521-038

Conditional Use Permit and Architectural Review Application

OWNER | APPLICANT: Santa Maria Seeds, Manny Silva III

2390 A Street

Santa Maria, CA 93455

PROJECT DESCRIPTION

The applicant, Santa Maria Seed Company, proposes a new vegetable seed storage warehouse, with associated site improvements including parking, site walls, site lighting, fencing, landscape, and refuse enclosure at 111 East San Antonio Drive. **(See Figures 1, 2, 3 and 4)** The primary warehouse use is accompanied by general office use which includes the sales of vegetable seed. There is no processing or manufacturing involved at this location. Vegetable seed is purchased from seed breeders and will be stored in this warehouse.

The proposed first floor office area is approximately 2,517 square feet and the warehouse area is about 10,933 square feet. Plus, an additional 899 square feet of office area is proposed for the second floor. Parking is proposed for warehouse and offices.

The applicant anticipates that there will be 1-2 truck deliveries per day, though at times there are no deliveries in a given day. The facility will operate from 5:00am to 6:00pm daily with eight employees currently staffed, with hopes of increasing this number within the office portion of the building. That portion of the building is designed with this increase in mind.

Santa Maria Seeds is located in the main growing regions in California and Arizona. According to their website, Santa Maria Seeds offers a full range of high quality vegetable and field seed. They provide seed from a number of suppliers. Santa Maria Seeds has offices in Santa Maria, King City, Salinas California, and Yuma Arizona and offers the full range of vegetable seed, most of which are tested and selected for viability and competitiveness in each of these growing regions. They also specialize in cover crop (biofumigants/green manure) and special mixes for pasture. The project requires approval of a Conditional Use Permit Case No. CUP 2017-005 and Architectural Review Case No. AR 2017-002.

Proposal:

The proposal includes a conditional use permit and architectural review for the construction of a warehouse with offices. The site is one of several used by the Santa Maria Seeds Company. They request approval of an approximately 14,510 square foot warehouse building, including, to be located on this vacant property on East San Antonio Drive, east of Metz Road. The warehouse portion of the project is approximately 10,993 square feet with the remaining building area being offices.

The proposed building is proposed to have silver metallic metal siding with contrasting medium bronze color panels. Large garage-type doors provide access to storage area. The front office area has a proposed expansion second-floor space. Concrete block walls are proposed to enclose trash and outside areas. Attractive wrought iron fencing is used for security. The front parking lot has a well-designed landscape treatment, including sweet acacia trees, royal purple smoke trees, cactus, shrubs and ground mulch.

Seventeen (17) parking spaces are proposed, including one (1) handicap accessible spaces. Drainage is proposed to be directed to detention basins in the sideyard. **(See Figure 7)**

Background of Company Operations and Purpose of Project: The project is necessary for the operation of the Santa Maria Seed Company agricultural support services within King City Salinas Valley region. They have provided services for farmers since 1978.

General Plan and Zoning Designations: The project is proposed within the Planned Development (“P-D”) Zone and the LI General Plan designations **(See Figures 21 and 22)**. The site is also located within the ERBP-SP area. The ERBP-SP permits warehouse buildings and offices with a CUP:

General Plan, Zoning Ordinance and East Ranch Business Park Specific Plan

The General Plan designation is LI. The zoning is P-D. The project is within the ERBP-SP. Cal. Gov. Code 65450 et seq. allow a specific plan to be used as tool for the implementation of the general plan. It establishes a link between implementing policies of the general plan and the individual development proposals in a defined area. A specific plan may be as general as setting forth broad policy concepts, or as detailed as providing direction to every facet of development from the type, location and intensity of uses to the design and capacity of infrastructure; from the resources used to finance public improvements to the design guidelines of a subdivision. A specific plan may present the land use and design regulations which guide development by incorporating land use and zoning regulations, infrastructure plans, and development approval processes for the development.

The ERBP-SP identifies allowable uses and criteria for development, including setbacks, parking, landscaping and architecture. Uses permitted in the ERBP-SP area that are subject to obtaining a conditional use permit ("CUP"):

The following uses are permitted subject to obtaining a use permit:

1. Wholesaling, storage and warehousing completely within an enclosed structure;
2. Offices Office of manufacturers' representatives, brokers, business and professional services or consultation;.

General Plan Land Use Element Policy 4.1.1 provides that the City shall designate a minimum of two (2) Industrial zoning land use categories: M-1 Light Industrial and M-2 General Industrial. Within these districts, the City shall assure the availability of vacant, suitably zoned land and improved space for industrial uses, consistent with the environmental, social, and economic goals of the City. The ERBP-SP, which is a tool to implement the General Plan, also provides for light industrial and warehouse land uses.

The proposed project will comply with both the Zoning and General Plan Designated Land Use Categories.

Parking:

Warehousing and wholesaling, and commercial cannabis cultivation, level one manufacturing and testing requires a minimum of two (2) spaces for every three (3) employees on largest shift but not less than one (1) per three-thousand (3,000) square feet of gross floor area. 10,933 square footage of warehouse space (rear portion of building) would require three and half (3.5) parking spaces. Total required parking, including offices totals seventeen (17). **(See Figure 7)**

Parking required for 2,517sq. ft. of first floor office area (@ 1/250)	10.1
Parking required for 899 sq. ft. of second floor office area (@ 1/250)	3.6
Parking required for 10,933 sq. ft. warehouse (@ 1/3000)	<u>3.6</u>
Total spaces required for office and warehouse	17.3

Total parking spaces, including second floor offices 17

Based upon the Municipal Code and the ERBP-SP, seventeen (17) parking spaces are required, including the second floor uses. The applicant proposes seventeen (17) spaces. The applicant is providing sixteen (16) standard parking spaces and one (1) handicap parking space for a total of seventeen (17) spaces in front of the proposed building. Those spaces will have landscaped areas per the requirements of the Municipal Code and ERBP-SP.

Architectural Review: Pursuant to the requirements of the ERBP-SP, the project requires the approval of the Architectural Review Committee, which is the Commission.

The ERBP-SP identifies the following criteria for project review:

The Design Standards are intended to preserve the integrity of development in the ERBP-SP area. The Design Standards for East Ranch Business Park and individual parcels will help ensure the implementation of a quality development and maintain the concept of a strong master-planned industrial community.

Design Review Process (Architectural Review Process)

The architectural review procedures set forth in Title 17 of the King City Municipal Code shall apply to all commercial, office, and industrial properties in the Specific Plan area. Elevations, site plans, and landscaping plans shall be approved by the Commission, if a CUP is required, prior to the issuance of any building permits. If a CUP is required, the process should occur concurrently. If a Plot Plan review is required instead of a CUP, elevations, site plans and landscaping plans, and other required architectural review items, shall be reviewed and approved by staff.

Architectural Features

1. Projects shall utilize at least three (3) coordination colors. Minor variations will be subject to review and approval by the Community Development Department. All surfaces visible from the adjacent streets will be finished according to these standards.

Project meets this requirement. **(See Figures 5 and 6)**

2. Mansard roofs, parapets, overhangs, and awnings will be decorative and coordinated with the architecture and colors of the building. Visible roofing materials on these features will be tile or architectural metal. Composition, tar and rock roofing materials are not acceptable for visible roofing.

Project meets this requirement. **(See Figures 5, 6, 13, 15, 16 and 17)**

3. Site and roof-mounted equipment shall be painted and screened from adjacent public street visibility and shall coordinate with architectural features of the building. Well maintained antenna towers and satellite dishes may be left unpainted. These details must appear on elevations submitted for architectural review.

Project will be conditioned to meet this requirement.

4. Windows and main entrance doors will be bronze glass for appearance and energy conservation.

Project will be conditioned to meet this requirement.

5. Wind barriers consistent with the architecture and colors of the building may be built to a maximum height of thirty feet (30') and not to exceed the height of the building.

Project meets this standard.

6. Electrical and mechanical apparatus and fixtures located on exterior walls shall be concealed from street visibility in a manner consistent with the architectural design of the building.

Project will be conditioned to meet this requirement.

7. Dumpsters and trash collection areas must be enclosed or suitably screened from street visibility. **(See Exhibit 9 of ERBP-SP)**

Project design indicates a proposed trash enclosure. Project will be conditioned to meet this requirement. **(See Figures 7 and 19)**

D. Landscaping

1. Concept

The basic objective of the Landscape Concept is to create a strong sense of project identity throughout the East Ranch Business Park Plan Area. The intent of the Landscape Concept is to establish a park-like setting which creates not only a strong landscape framework for the buildings, but also provides a pleasant pedestrian circulation system along the major San Antonio Drive arterial.

Project design includes well landscaped front yard area and around the parking lot as required by the ERBP-SP.

The selection of plant materials shall be made with water conservation and low maintenance characteristics as considerations. The aesthetic qualities of landscaping and plant material shall blend with the native plant material in the King City area.

Plantings proposed are generally water conserving plants. **(See Figure 18)**

Landscaping should be used on sites to define areas such as entrances to buildings and parking lots, define the edges of various land uses, provide transition between neighboring properties (buffering), provide screening for outdoor storage, loading and equipment areas, and soften the industrial hardscape of the business park.

Project is consistent with these provisions. **(See Figure 7)**

Landscaping, Coverage and Other Similar Code Standards: The project is required to meet landscaping standards of the East Ranch Business Park Specific Plan:

3. Landscaping Areas

All developments will be required to landscape a twenty-foot (20') front yard and twenty-foot (20') side yard setback from the property line which is adjacent to a public or private street, unless otherwise approved by the Community Development Department.

Special attention should be given to on-site landscaping in the following areas:

- a. Property Line Planting – Off sides of the property line shall be landscaped with trees, shrubs and vegetation.

Project is consistent with this provision.

- b. Parking Lot Planting – A minimum of five percent (5%) of the total area of parking lot shall be devoted to landscaping. Landscaping in parking lots should be located and maintained so there is no driver view blockage.

Project provides greater than 5 percent planting of parking lot area.

- c. Building Perimeter Planting – Planting areas around the building shall integrate with the building design and enhance the appearance of the building.

Project is consistent with this provision.

It is intended that individual owners have the flexibility to express their own landscape design concepts while being consistent with the overall landscape concept.

5. Irrigation Standards from ERBP-SP

- a. All irrigation systems shall be fully automatic.

Project will be conditioned to meet this standard.

- b. Low-volume irrigation equipment shall be required for all planted areas within the individual sites.

Project will be conditioned to meet this standard.

- c. Irrigation water shall not overthrow onto walks, common areas, or onto any architectural walls.

Project will be conditioned to meet this standard.

- d. Utility cabinets and irrigation hardware should be screened by shrubs.

Project will be conditioned to meet this standard.

This proposed project has landscaping treatment proposed for the street frontage and around the parking lot, including a twenty (20') foot strip of planting between the parking lot and the front property line. It appears to comply with the provisions of the ERBP-SP.

Trash Enclosure and Transformers:

A trash enclosure is proposed as required by ERBP-SP. Following are those standards: Trash Enclosures and Transformers. (See Figures 8 and 19)

1. Outdoor trash areas shall be visually screened by a minimum six-foot (6') high, noncombustible enclosure constructed of the same materials and finishes as the adjacent building. **(See Exhibit 9 ERBP-SP)**

The applicant's proposal provides enclosure.

2. Trash enclosures shall be designed and located so as not to be highly visible from adjacent streets and property.

The trash enclosure should be set back from currently proposed location to provide landscaping in front of the enclosure and transformers. Recommendation is to setback behind twenty (20') foot front setback.

3. Transformers and emergency generators, where required, shall be screened by walls or dense landscaping.

The electrical transformers should be set back from currently proposed location to provide landscaping in front of the transformers.

4. Above-ground transformers and trash enclosures shall not be permitted within the "front" street-side building setback. Transformers located in the "front" street-side setback shall be underground.

See notes in #2 and #3 above.

5. Above-ground switching devices, installed as a part of the backbone utility system, shall be screened from view from adjacent streets by shrub elements as provided for in the streetscape design and shall not be permitted in the "front" street side setback.

See notes in #3 above.

Lighting Standards of ERBP-SP

1. Lighting shall be used to provide illumination for security and safety of parking, loading, and access areas. Security light fixtures shall not project above the fascia or roofline of the building.

Project CUP Conditions shall contain this provision.

2. All lighting shall be shielded (cut off) to keep light spread within the site boundaries.

Project CUP Conditions shall contain this provision.

3. Pole light fixtures in parking areas shall not exceed thirty feet (30') in height. **(See Exhibit 10 ERBP-SP)**

Project CUP Conditions shall contain this provision.

4. Exterior building lighting shall be used to reinforce the architectural design. Emphasis shall be placed on entries, landscaping elements, architectural features, etc.

Project CUP Conditions shall contain this provision.

5. Lighting shall be directed toward the building (wall wash), not adjacent properties.

Project CUP Conditions shall contain this provision.

6. Service area lighting, if any, shall be contained within the service area and shall be a 90-degree cutoff-type fixture.

Project CUP Conditions shall contain this provision.

Drainage:

The project will be required to meet State and Federal drainage and erosion standards, keeping drainage from the building on-site in a manner that will permit percolation into the ground water and reduction of stormwater flows. The site lends itself to use of bioretention basins or similar methods of maintaining drainage on-site. Since the site is greater than one (1) acre in area, construction and grading would follow normal Stormwater Pollution Prevention Plan ("SWPPP") protocols for grading and construction during rainfall events. As long as measures meet the SWPPP standards and maintain future rainfall on-site, there should be no significant negative impacts expected from the project. The applicant should discuss SWPPP standards with the Central Coast Regional Water Quality Control Board ("RWQCB") and with the City Engineer.

Following are the criteria from Municipal Code Section 17.56.100 Stormwater Pollution Prevention.

Stormwater and Water Quality Protection. Developers shall be required to meet all measures for stormwater pollution control, waste management, and provide public utility connections that comply with the city and other service providers. The United States Environmental Protection Agency has promulgated regulations requiring permits for stormwater discharges from small municipal separate storm sewer systems (MS4s). The city of King is an MS4 and therefore projects within the city shall meet the standards established by the Central Coast Regional Water Quality Control Board (RWQCB). Since impermeable surfaces (such as paving and buildings) as well as bare unvegetated soil greatly increases runoff and the potential for erosion and pollution of waters within streams and the Salinas River, mitigation measures have been deemed necessary to reduce runoff and increase percolation within the urban area of the city.

Development in the city will be required to include best management practices (BMPs), including erosion and sediment control, during construction and grading and include low impact development (LID) design practices in the design and layout of the project. According to the RWQCB, LID "is an effective approach to managing stormwater to minimize the adverse effects of urbanization and development on watershed processes and beneficial uses resulting from changes in stormwater runoff conditions. LID strategies can achieve significant reductions in pollutant loading and runoff volumes as well as greatly enhanced groundwater recharge rates. The proper implementation of LID techniques results in greater benefits than single purpose stormwater and flood control infrastructure."

Therefore, controlling urban runoff pollution by using a combination of on-site source control and LID BMPs augmented with treatment control BMPs before the runoff enters the MS4 is important and will be required of each development project (unless specifically exempted by the RWQCB). Also, according to the RWQCB, "the risks associated with infiltration can be properly managed by many techniques, including: (1) designing landscape drainage features that promote infiltration of runoff, but do not "inject" runoff (injection bypasses the natural processes of filtering and transformation that occur in the soil); (2) taking reasonable steps to prevent the illegal disposal of wastes; (3) protecting footings and foundations; and (4) ensuring that each drainage feature is adequately maintained in perpetuity. However, in some circumstances, site conditions (e.g., historical soil contamination) and the type of development (i.e., urban infill) can limit the feasibility of retaining, infiltrating, and reusing stormwater at sites." (Source: Resolution No. R3-2013-0032, Approving Post-Construction Stormwater Management Requirements for Development Projects in the Central Coast Region, Central Coast Regional Water Quality Control Board.)

The City Engineer shall review each project, unless exempted by the RWQCB, to assure compliance with these requirements, including the RWQCB "Post-Construction Stormwater Management Requirements for Development Projects in the Central Coast Region." These RWQCB standards include BMPs for erosion and sediment control during project construction and after completion of the project. LID measures include, but are not limited to: limiting disturbance of creeks and natural drainage features, minimizing compaction of highly permeable soils, limiting removal of native vegetation at the site to the minimum area needed to build the project, limiting impermeable surfaces, including buildings and paving, and the use of innovative design layout that further increases permeable surfaces and landscaping.

Development shall minimize stormwater runoff by implementing one or more of the following site design measures identified by the RWQCB:

- (1) Direct roof runoff into cisterns or rain barrels for reuse;
- (2) Direct roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California Building Code;
- (3) Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California Building Code;
- (4) Direct runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California Building Code;
- (5) Construct bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces;
- (6) The directing of runoff to bioretention basins; and
- (7) Other similar measures as determined by the city engineer.

Subsurface Contamination Conditions:

There are no known subsurface contamination sites at this location. A review of GeoTracker indicates no subsurface tank contamination under or near this proposed building.

Archaeological or Historical Resources:

There are no known historical or archaeological sites on or near this project. The environmental study of the nearby proposed Monterey-Salinas Transit South County Operations and Maintenance Facility project (East San Antonio Drive and Don Bates Way) indicates the following:

Pre-Historic and Archaeological Resources:

"No prehistoric or combined prehistoric/historic archaeological resources, possible ethnographic and/or contemporary resources were observed during the field survey conducted within the Area of Potential Effects ("APE").

No known ethnographic or contemporary Native American resources, including villages, sacred places, traditional or contemporary use areas, have been identified in or adjacent to the APE."

Historic Era Resources:

"No known potential Hispanic or American Period archaeological resources have been recorded or reported in or adjacent to the APE as a result of the records search, literature review and/or field survey. The APE was historically used for agricultural uses."

Figures and Exhibits

Figure 1, Aerial of 111 San Antonio Drive Project Site

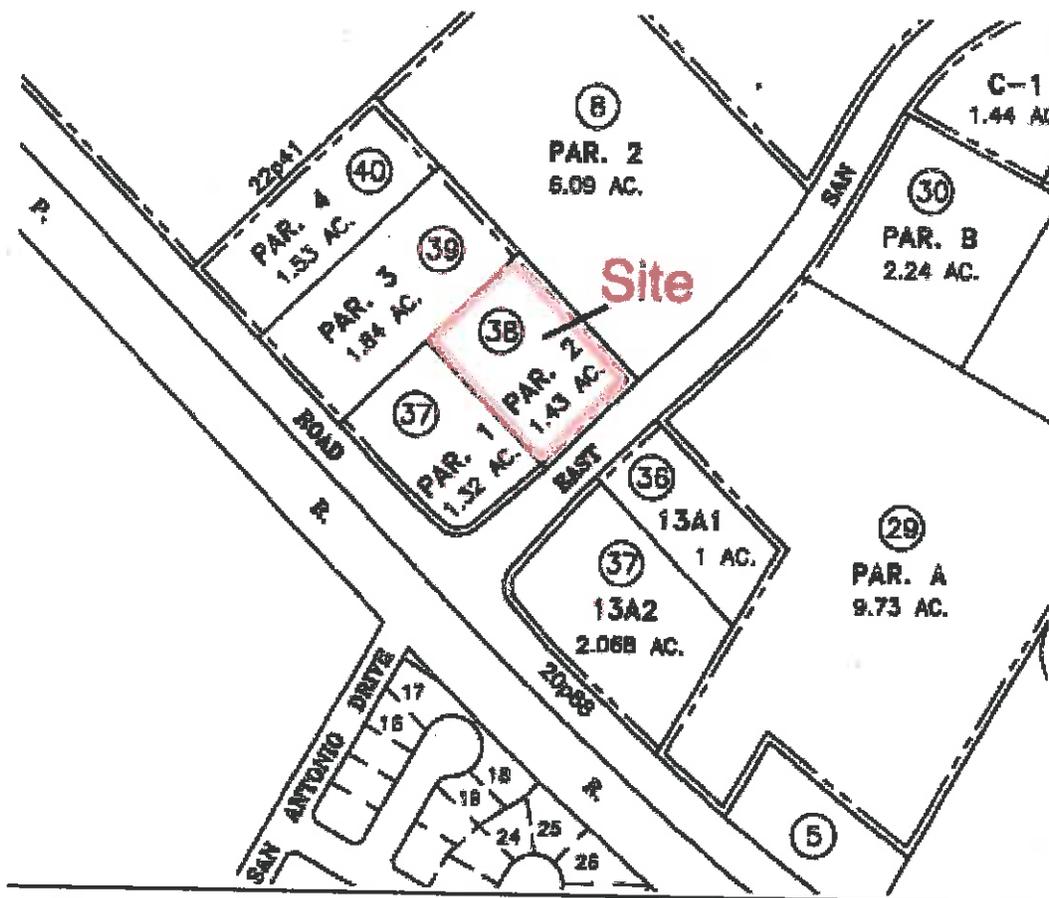


Negative Declaration and Initial Study, Proposed Construction of a new 14,510SQ FT Warehouse at 111 East San Antonio Road, King City, CA 93930 (October 9, 2017)

Figure 2 – Photo showing the location of the Proposed Santa Maria Seeds Warehouse Project Site as Viewed from East San Antonio Drive.



Figure 3 – Assessors Map of Site.



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Figure 4 – General Project Location

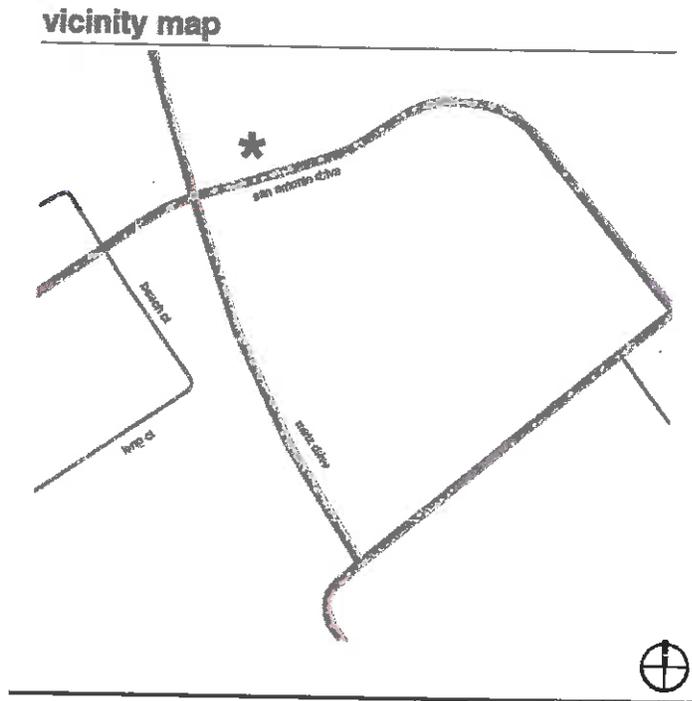


Figure 5 – Artist Concept of Project as Viewed from San Antonio Drive



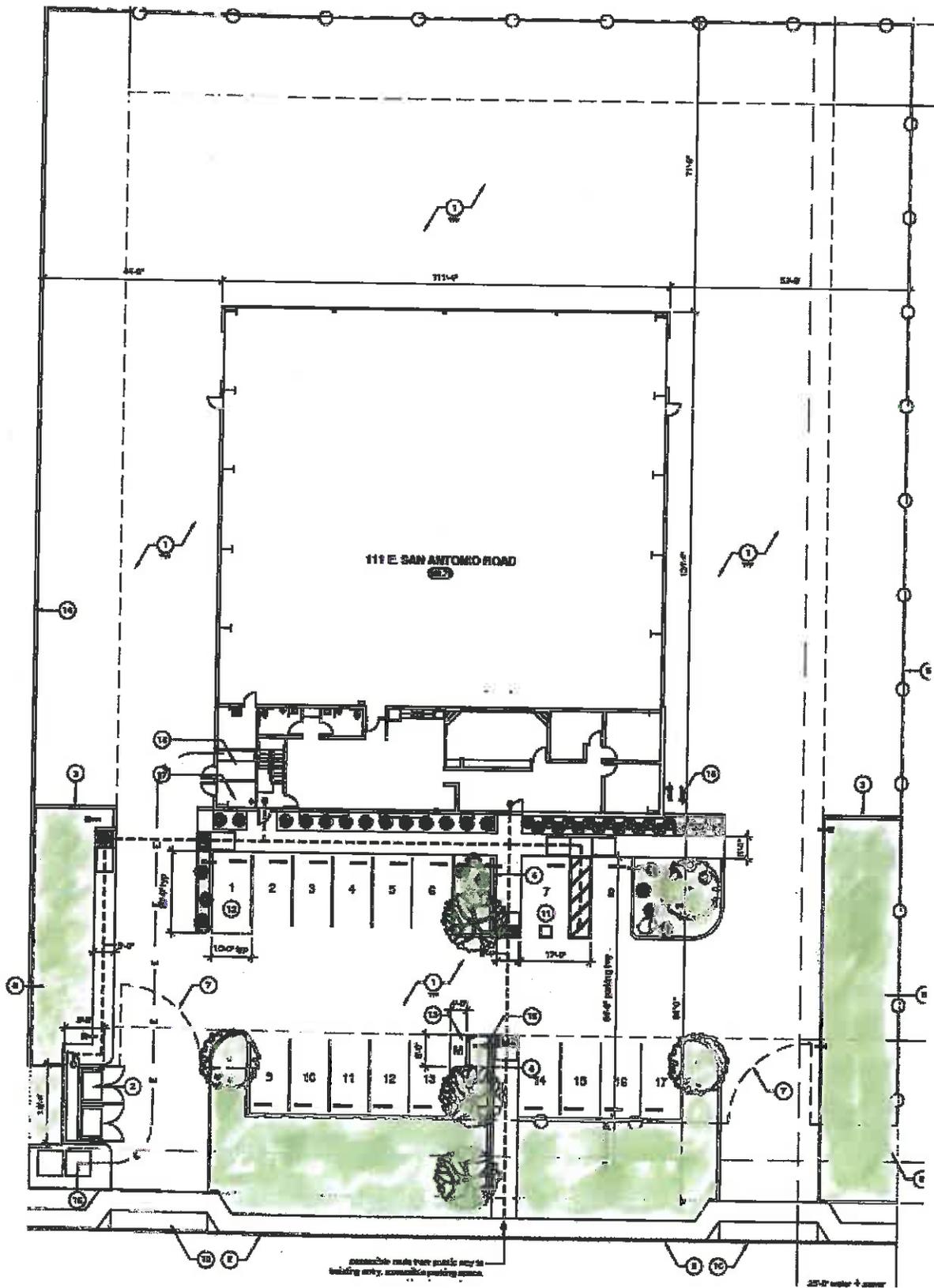
Figure 6 – Front View Plan Showing Proposed Colors and Materials



MATERIALS + COLORS
 SOUTH ELEVATION | SAN ANTONIO DRIVE
 Santa Maria Seeds Warehouse
 111 East San Antonio Drive, King City
 17.0606



Figure 7 – Plot Plan



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Figure 10 – General First Floor Plan, Warehouse and Offices

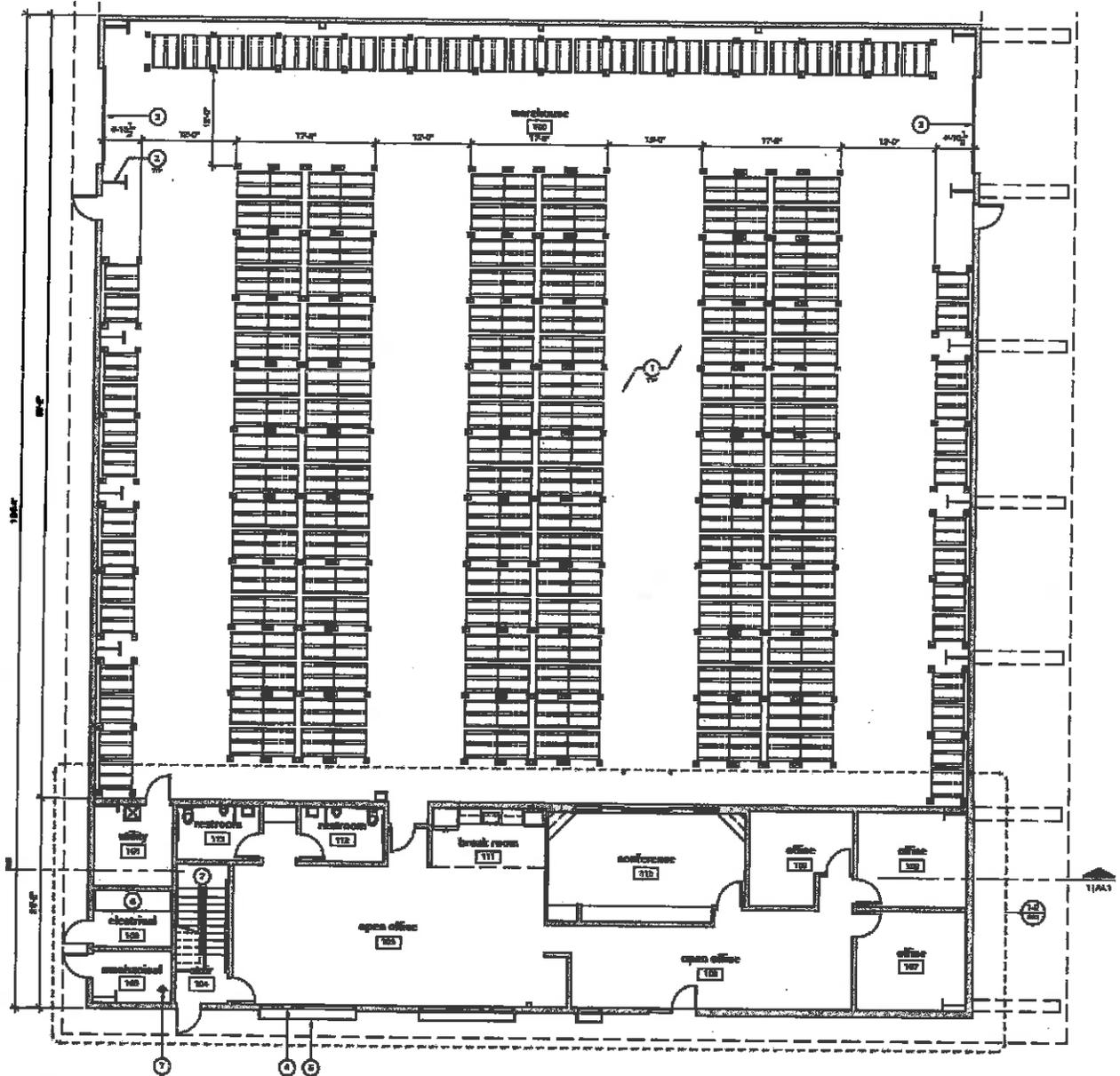


Figure 11 – Details First Floor Plan, Offices

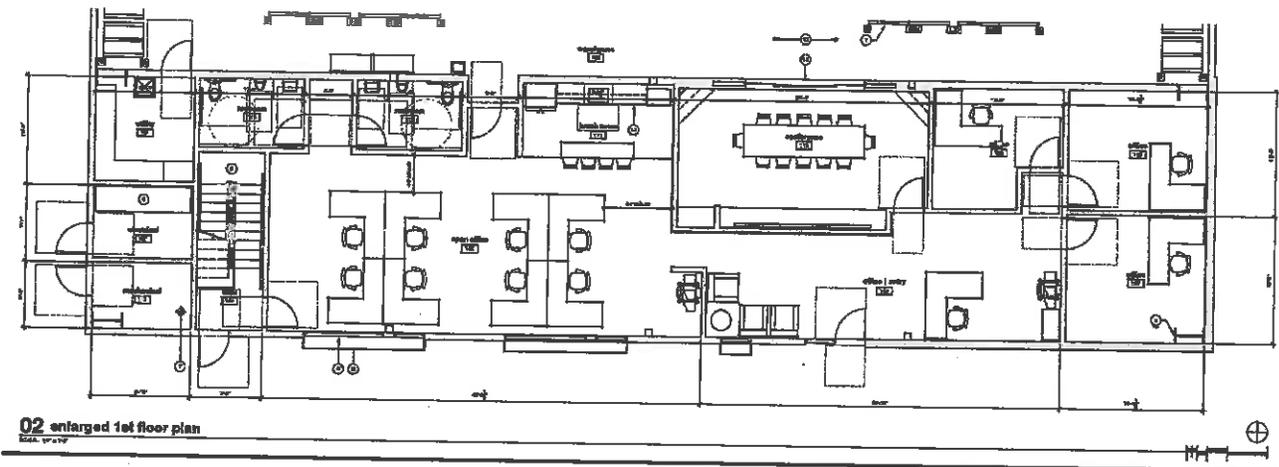


Figure 12 – Second Floor Plan Offices (note that area shown as "caretaker's unit is solely for office use as proposed by the CUP request)

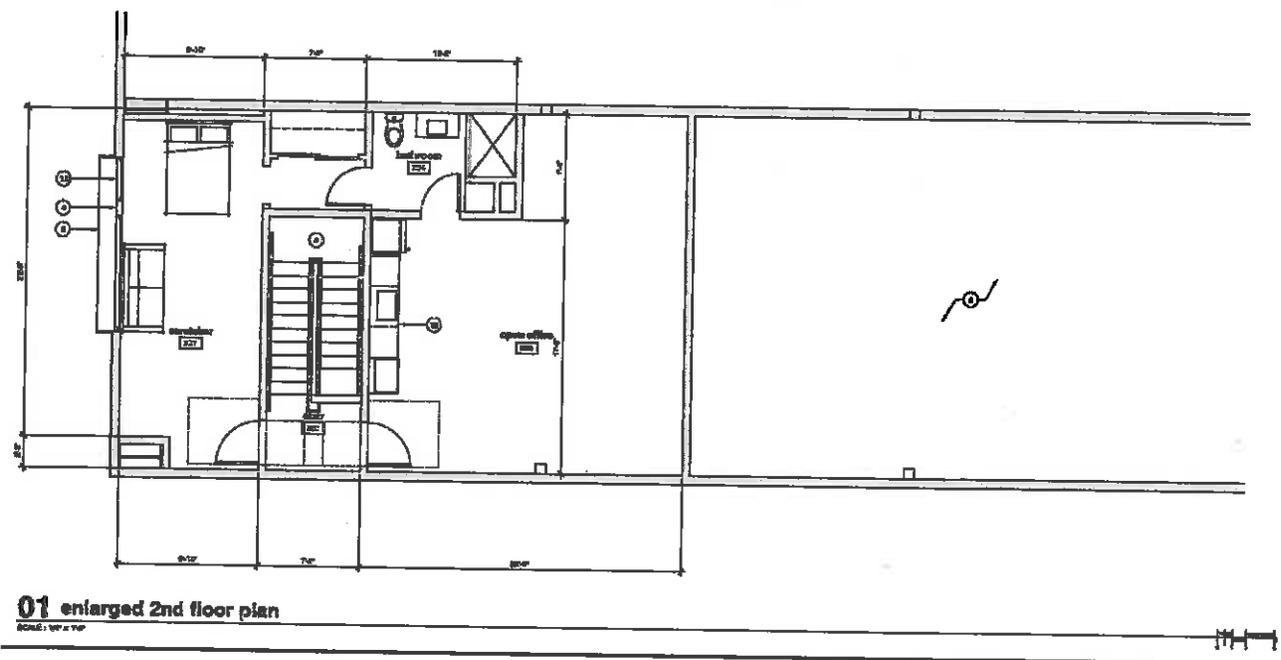


Figure 13 – Front Elevation of Building

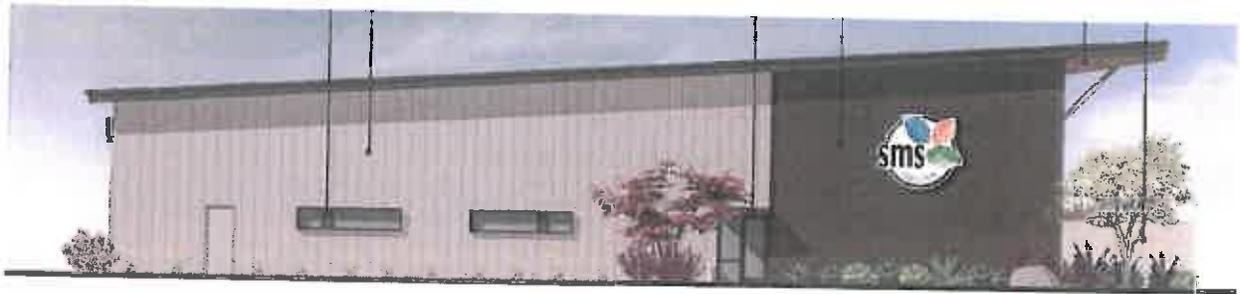


Figure 14 – Cross-Section of front of building

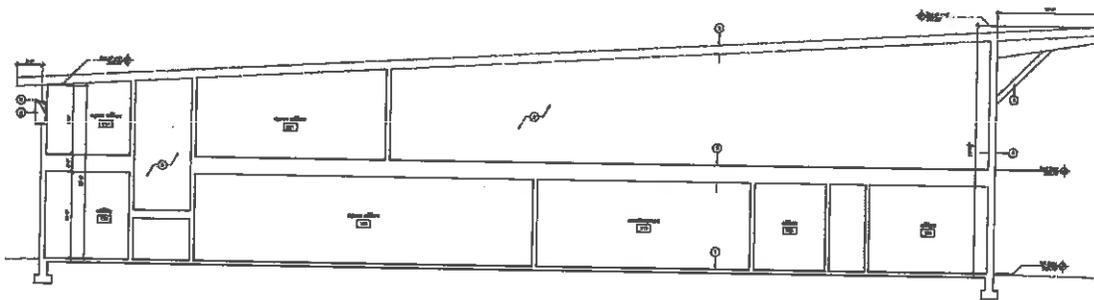


Figure 15 – West Elevation of Building

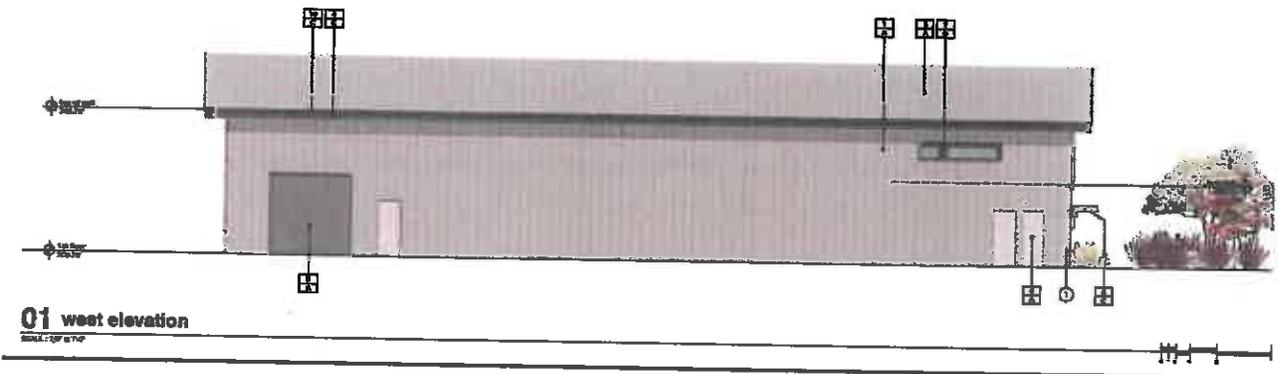


Figure 16 – East Elevation of Building

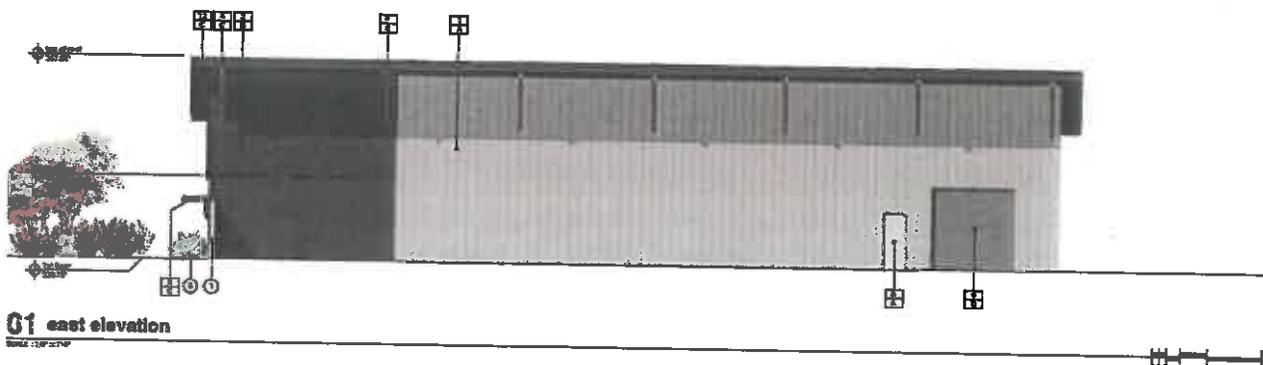


Figure 17 – Rear Elevation of Building

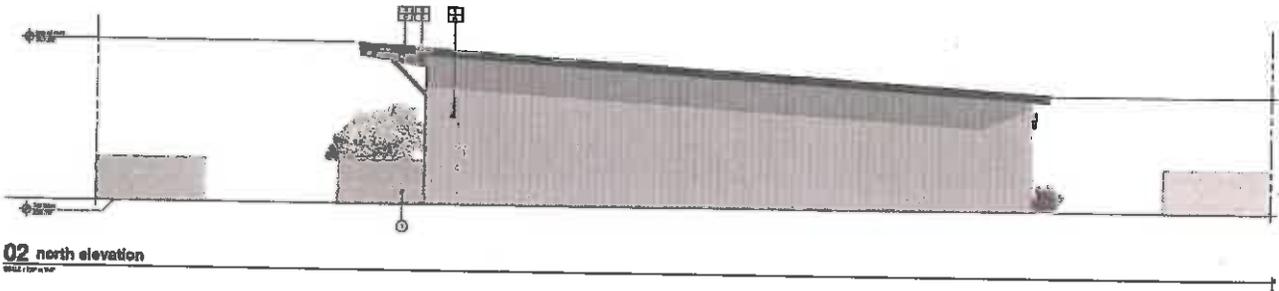
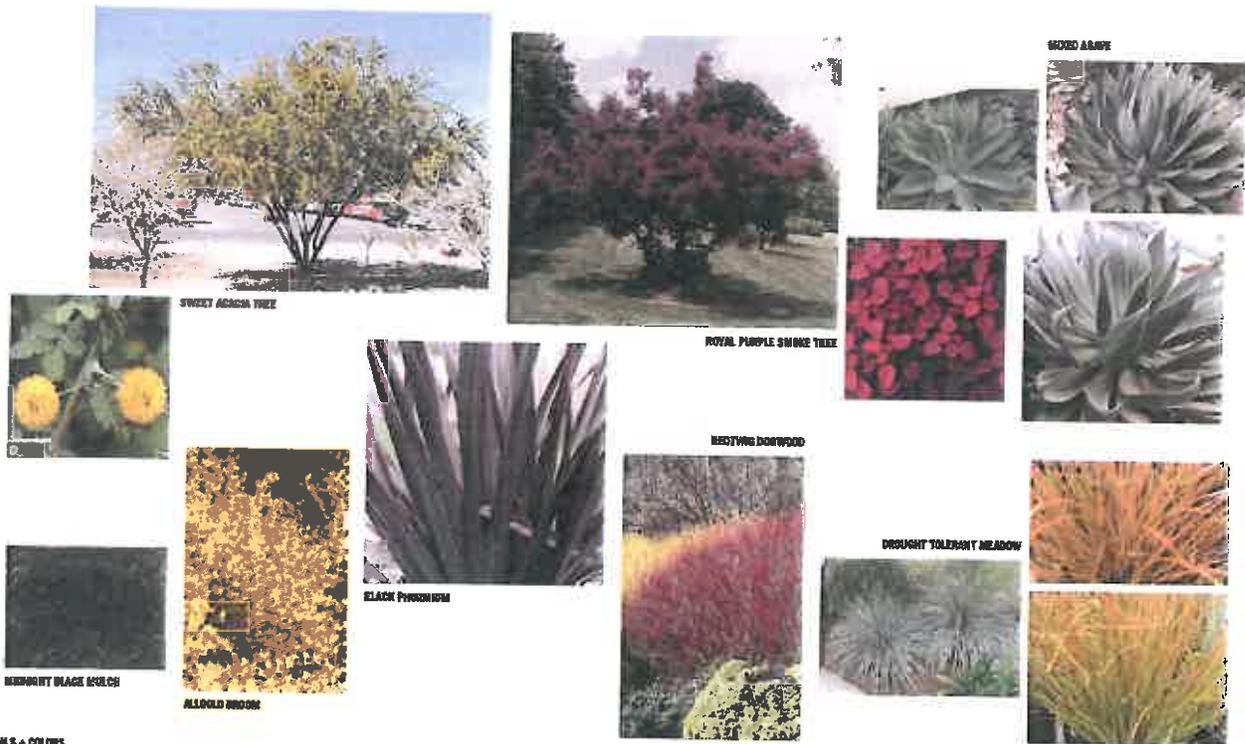


Figure 18 – Plantings Proposed for Project Landscaped Areas



**MATERIALS & COLORS
LANDSCAPE PALETTE**
 Santa Maria Seeds Warehouse
 111 East San Antonio Drive, King City
 93930

Figure 19 – Proposed Trash Enclosure

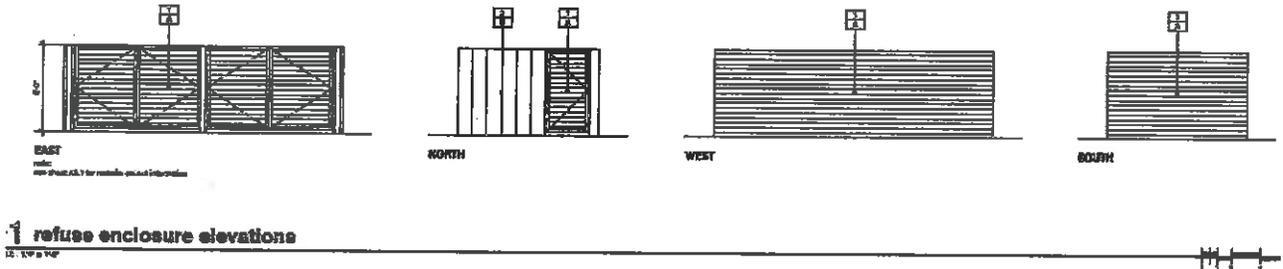
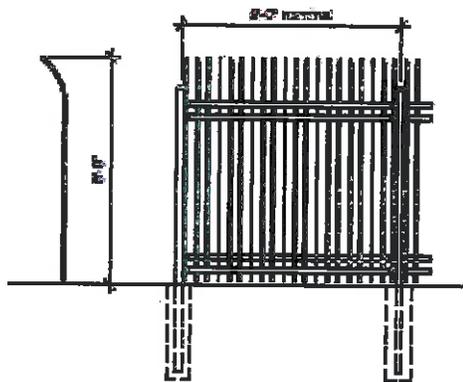


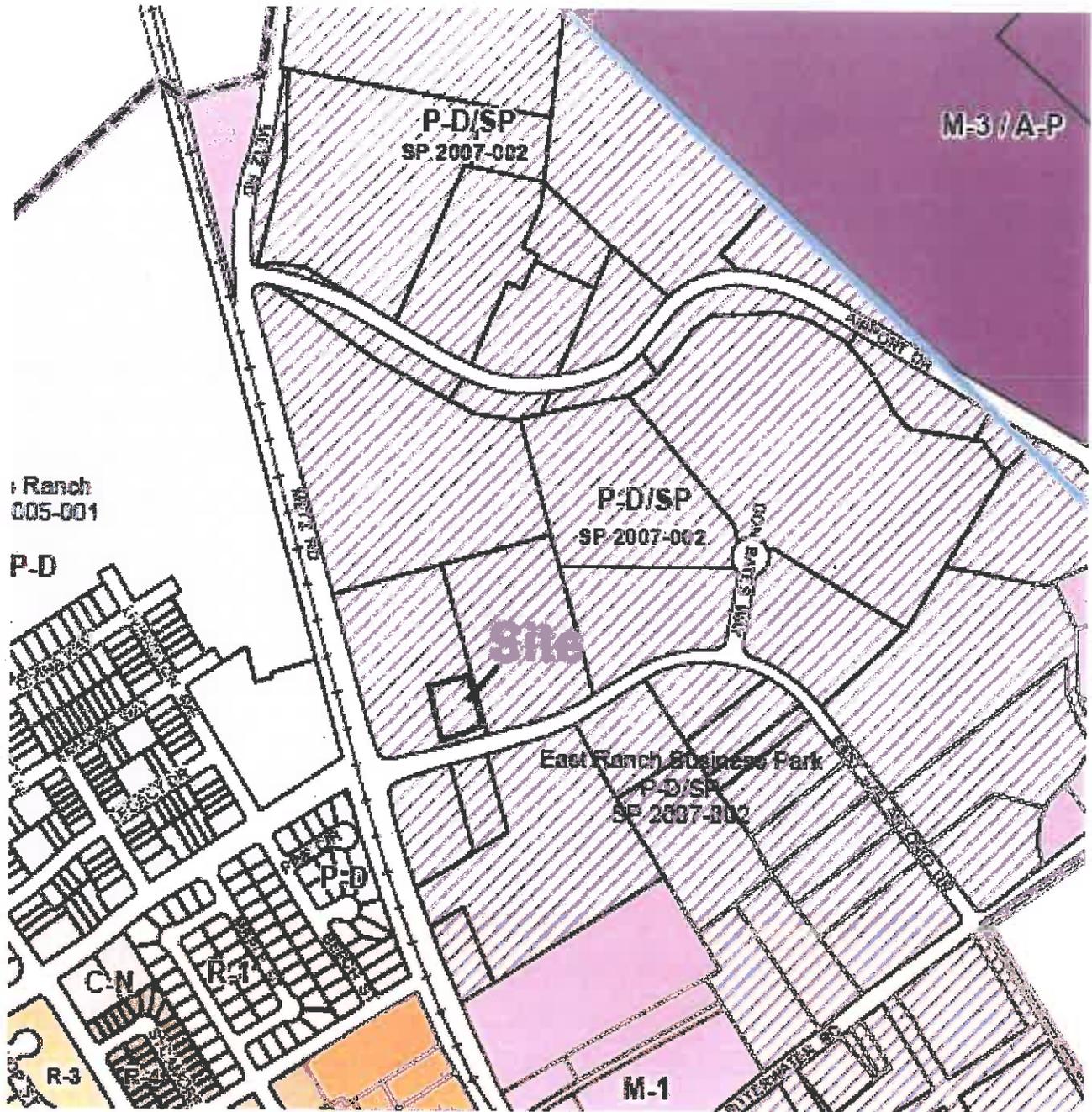
Figure 20 – Proposed "Wrought Iron" Security Fencing



03 site fencing

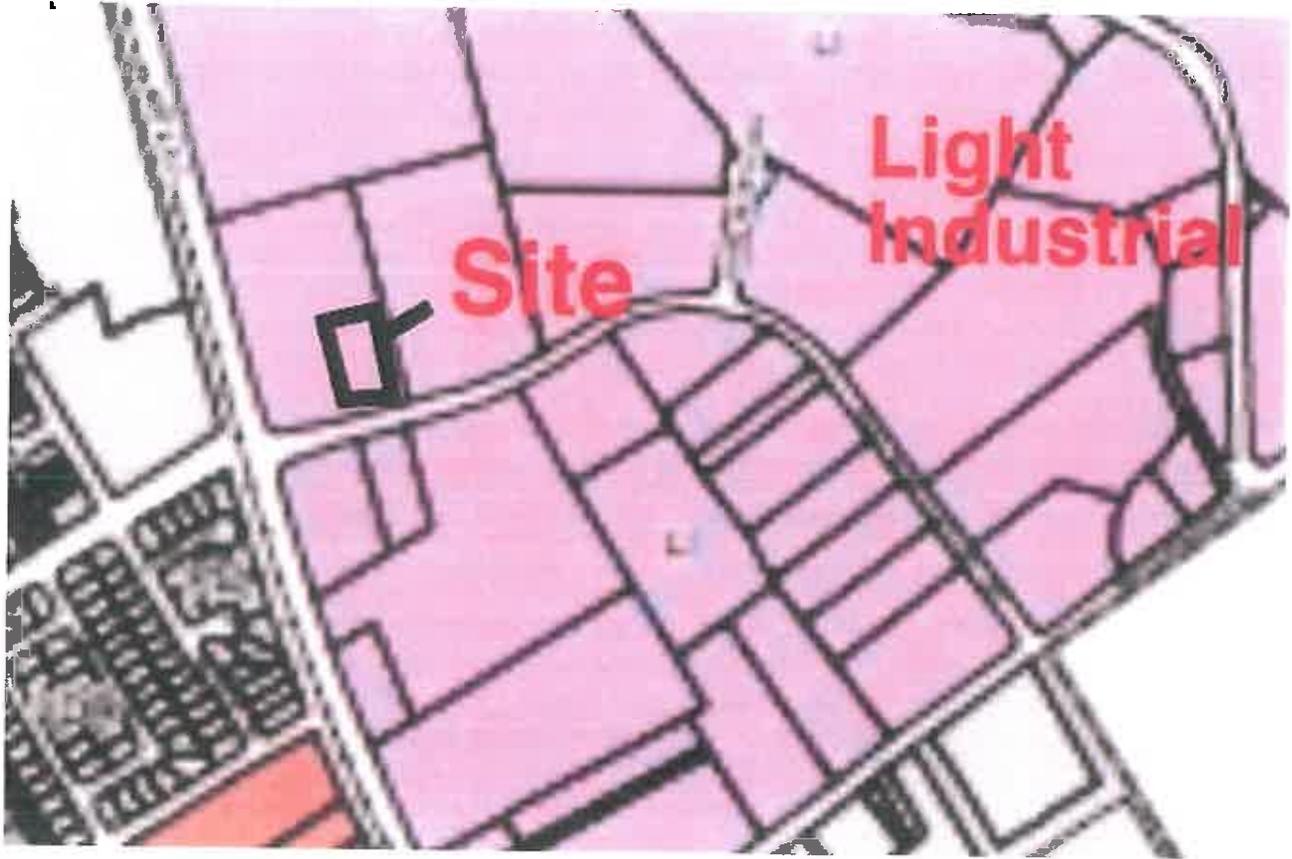
SCALE: 1/4" = 1'-0"

Figure 21 – Zoning of Building Site, P-D/SP



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Figure 22 – General Plan Designation of Building Site, Light Industrial (LI)



II. DETERMINATION OF MITIGATED NEGATIVE DECLARATION

This proposed Draft IS-MND is included to give notice to interested agencies and the public that it is the City of King's intent to adopt a IS-MND for this project. This IS-MND is subject to change based on comments received by interested agencies and the public. The project is not expected to have a significant effect on the environment. The proposed changes will not result in an intensification of uses on ERBP-SP properties.

In addition, the proposal for the warehouse building and related uses will not have significant environmental impacts if the mitigation measures identified in this IS-MND are implemented as conditions of the CUP for said project.

The City of King prepared the IS-MND for this project and pending public review, expects to determine from this study that the project, if developed and operated consistent with any mitigation measures specified in this document, would not have a significant effect on the environment for the following reasons:

- The proposed project would have no significant effect on: growth, farmland/timberland, the community, cultural resources, geology/soils/seismic/topography, hazardous waste or materials, air quality, noise or vibration, Land Use, Parks and Recreational Facilities, Utilities/ Emergency Services, Traffic and Transportation, Visual/ Aesthetics, Hydrology and Floodplain, Water and Storm Water Runoff, Animal Species, Invasive Species, Construction Impacts, or Climate Change, or historical/archaeological/paleontological resources, natural communities, and threatened and endangered species because the following mitigation measures would reduce potential effects to insignificance.

III. ENVIRONMENTAL SETTING

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or is "Potentially Significant Unless Mitigated," as indicated by the Environmental Checklist:

X	1. Aesthetics		9. Land Use/Planning
	2. Agricultural Resources		10. Noise
X	3. Air Quality		11. Population/Housing
	4. Biological Resources		12. Public Services
X	5. Cultural Resources		13. Recreation
	6. Geology/Soils		14. Transportation/Circulation
	7. Hazards/Hazardous Materials		15. Utility/Service Systems
X	8. Hydrology/Water Quality		16. Mandatory Findings of Significance

Surrounding Land Use			
North:	Industrial & Commercial uses	East:	Industrial & Commercial uses
South:	Industrial & Commercial uses	West:	Industrial & Commercial uses

Environmental Setting:

The site is located in the East Ranch Business Park Specific Plan Area near the intersection of East San Antonio Drive and Metz Road, next to the Department of Motor Vehicles facility. The area is comprised of a variety of industrial and service commercial uses such as print shops, auto repair garages, fueling stations, large vehicle storage, offices and similar uses. The terrain is level and was historically farm fields prior to incorporation into the City of King.

Buildings in the area are principally of steel construction. The site is vacant. There are proposed landscaped entries along East San Antonio Drive. Parking for customers and employees is located in front of the proposed building.

The City of King is located in the center of Salinas Valley along the US Highway 101 freeway approximately in the center of Monterey County. The Salinas Valley is one of the most productive agricultural valleys in the world, producing many of the fruits and vegetables consumed throughout the United States. The Highway 101 corridor connects the San Francisco Bay Area and the Central Coast. Historically, the

The City is approximately fifty (50) miles south of the City of Salinas, 145 miles south of San Francisco, one hundred and five (105) miles south of San Jose, and fifty (50) miles north of Paso Robles. The City of King is a relatively small agriculture-based community located south of the small towns of Greenfield, Soledad, and Gonzales, other agricultural communities in the Salinas Valley.

The topography of the City and surrounding valley is flat alluvial plane between mountain ranges to the east and west of the City. San Lorenzo Creek and Salinas River floodplains are a potential hazard, bordering the southwestern portion of the City and traversing the City in a northeasterly direction to intersect the

Salinas River. The City is located near the edge of the Pacific and Continental Plates and is within an area known to have frequent seismic movement.

IV. ENVIRONMENTAL CHECKLIST AND IMPACT REVIEW

The following checklist indicates the potential level of impact and is abbreviated as follows:

- Known Significant: Known significant environmental impacts.
- Unknown Potentially Significant: Unknown potentially significant impacts, which need further review to determine significance level.
- Potentially Significant and Mitigable: Potentially significant impacts which can be mitigated to less than significant levels.
- Not Significant: Impacts which are not considered significant.
- Impact Reviewed in Previous Document: Adequate previous analysis exists regarding the issue; further analysis is not required due to tiering process (Section 21094 of CEQA and Section 15162 of the State CEQA Guidelines). Discussion should include reference to the previous documents and identification of mitigation measures incorporated from those previous documents. Where applicable, this box should be checked in addition to one indicating significance of the potential environmental impact.

1.	AESTHETICS:	Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
	Would the project:					
a.	Have a substantial adverse effect on a scenic vista?				X	
b.	Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within view of a state scenic highway?				X	
c.	Substantially degrade the existing visual character or quality of the site and its surroundings?				X	
d.	Create a new source of substantial light or glare, which would adversely affect day or nighttime views in the area?				X	

Impact Discussion:

The site is required to meet the aesthetic requirements established in the ERBP-SP. An inconsistency with setbacks of electrical boxes and trash enclosures can be resolved by relocating these items behind the setback and landscaping the area in front of the boxes and enclosure.

Also, the project will be conditioned for compliance with landscape irrigation requirements as well as night lighting requirements.

Proposed Mitigation Measures:

Mitigation Measure No. 1.a, b, c and d: Project shall be conditioned to locate the electrical boxes and trash enclosure behind the front setback and landscape the area in front of the boxes and trash enclosure. Project shall also be conditioned to comply with the ERBP-SP requirements for irrigation and lighting. Further, Mansard roofs, parapets, overhangs, and awnings will be decorative and coordinated with the architecture and colors of the building. Visible roofing materials on these features will be tile or architectural metal. Composition, tar and rock roofing materials are not acceptable for visible roofing. Site and roof-mounted equipment shall be painted and screened from adjacent public street visibility and shall coordinate with architectural features of the building. Well maintained antenna towers and satellite dishes may be left unpainted. These details must appear on elevations submitted for architectural review. Windows and main entrance doors will be bronze glass for appearance and energy conservation. Wind barriers consistent with the architecture and colors of the building may be built to a maximum height of thirty feet (30') and not to exceed the height of the building. Electrical and mechanical apparatus and fixtures located on exterior walls shall be concealed from street visibility in a manner consistent with the architectural design of the building. Dumpsters and trash collection areas must be enclosed or suitably screened from street visibility.

2.	AGRICULTURAL RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. Would the project:	Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
a.	Convert prime farmland, unique farmland, or farmland of statewide importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X	
b.	Conflict with existing zoning for agricultural use, or a Williamson Act contract?				X	
c.	Involve other changes in the existing environment, which, due to their location or nature could result in conversion of farmland, to non-agricultural use?				X	

Impact Discussion:

The proposal will not affect agricultural lands and will likely lead to greater agricultural production. The Santa Maria Seed Company provides products and assistance to farmers and ranchers within one of the most productive agricultural areas of the world.

Proposed Mitigation Measures:

No mitigations necessary.

3.	AIR QUALITY	Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
	Would the project:					
a.	Conflict with or obstruct implementation of the applicable air quality plan?				X	
b.	Exposure of sensitive receptors to substantial pollution concentrations (emissions from direct, indirect, mobile and stationary sources)?				X	
c.	Violate any air quality standard or contribute substantially to an existing or projected air quality violation?				X	
d.	Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is in non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions, which exceed quantitative thresholds for ozone precursors)?				X	
e.	Create objectionable smoke, ash, dust or odors affecting a substantial number of people?			X		

Impact Discussion:

Item 3.e: The proposal could generate dust during construction unless controlled by actions described in the mitigation measure below. The owner and/or contractor will be responsible for implementing measures to ensure that no dust or hazardous materials are released.

Proposed Mitigation Measures:

Mitigation Measure No. 3.e: A plan shall be prepared by the project engineer or Certified Professional Erosion Control Specialist (for dust, chemical pollution and erosion control) to ensure these measures are implemented. Where appropriate, said dust protection plan may be part of a project erosion and sediment control plan. All new projects must comply with all Federal, State, Regional, and local air quality standards. State law requires any facility that has the potential to emit air contaminants to apply for a permit from Monterey Bay Unified Air Pollution Control District ("MBUAPCD"). Additionally, if development within the Project includes other sources that are exempt from MBUAPCD permit authority (e.g., indirect sources, fugitive area sources), all direct and indirect emissions should be compared to the appropriate threshold(s) of significance. When net emissions from a new or modified facility exceed State thresholds, the increase shall be offset. New businesses and/or tenants of the facility shall consult directly with the MBUAPCD for permitting requirements and compliance with air quality standards.

4.	BIOLOGICAL RESOURCES	Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
	Would the project:					
a.	Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California department of Fish and Game or U.S. Fish and Wildlife Service?				X	

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b.	Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of fish and Game or U.S. Fish and Wildlife service?				X	
c.	Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X	
d.	Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?				X	
e.	Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?				X	
f.	Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional or state habitat conservation plan?				X	

Impact Discussion:

The site is located in an existing fully developed area and no significant biological resources exist on the vacant lot. No biological resource impacts are likely to occur from the development of this project. No federally-listed plant or animal species are anticipated to be impacted by the project.

Proposed Mitigation Measures:

No mitigations necessary.

5. CULTURAL RESOURCES		Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
Would the project:						
a.	Cause a substantial adverse change in the significance of a historical resource as defined in CEQA Guidelines Section 15064.5?			X		
b.	Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines Section 15064.5?			X		
c.	Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?			X		
d.	Disturb any human remains, including those interred outside of formal cemeteries?			X		

Impact Discussion:

Pre-Historic Period (prior to 1769)

The project is situated within the territory of the ethnographic group known as the Salinan. The Salinan people shared a common language who inhabited the rugged mountains of the south-central California Coast (Hester 1978). Kroeber in 1925 assigned the Salinan Tribe to the area from the headwaters of the Salinas River or the vicinity of the Santa Margarita divide in the south to Santa Lucia Peak (now Junipero

Serra Peak) and a point south of Soledad in the north; and from the sea on the west to the main crest of Coast Range on the east (i.e., southern Monterey County, northern San Luis Obispo County and parts of San Benito County. Levy in 1973 set the northern boundary of the Esselen and Costanoan groups with Salinan in the Salinas River Valley, ten (10) to twelve (12) miles from Mission San Antonio de Padua." (Source MST Environmental Document, 2017)

According to the 2017 MST Environmental Document, the history of the Salinas Valley can be divided into the Age of Exploration, the Hispanic Era (Spanish Period 1769-1821 and the Mexican Period 1822-1848), and the American Period (1848-onward). During the Hispanic Period, Spanish government policy in northwestern New Spain was directed at the founding of presidios (forts), missions, and pueblos (secular towns) with the land held by the Crown whereas later Mexican policy (1822-1848) stressed individual ownership of the land with grants of vast tracts of land to individuals. After the secularization of the missions by Mexico in 1833, vast tracts of mission lands were granted to individual citizens. The American Period focused on development and growth - a pattern that continues into the 21st century.

There are no known pre-historic resources on the subject property.

Hispanic Era (1769 to 1848)

The Spaniards displaced local Native Americans within the Salinas Valley. "The Salinas River, the principal river in Monterey County, was discovered by scouts of the Portola expedition in late September 1769 and reached by the expedition on September 26. Gaspar de Portola and Father Juan Crespi camped in what would later become part of King City in September 1769 (Monterey County Historical Society (hereafter MCoHS 1997:1; Lonnberg 1975). The later exploration party of Juan Bautista de Anza and Father Pedro Font in 1774 rested northwest of King City at Los Ositos (Hoover et al. 1966; Breschini et al. 1983; Clark 1991). (source MST Environmental Document)

At the end of 1846 and early 1847 and during the latter part of the Hispanic Era, John C. Fremont led the California Battalion southward from Monterey and along the Salinas River Valley during the last phase of the American takeover of California. He undoubtedly passed nearby the project area (Beck and Haase 1974:#48). (Source MST Environmental Document)

There are no known significant Hispanic Era resources on the subject property.

American Period

California became a United States territory in 1848 through the Treaty of Guadalupe Hidalgo that ended the Mexican War of 1846-1847. California was not formally admitted as a state until 1850. In the mid-19th century, most of the rancho and pueblo lands and some of the ungranted land in California were subdivided as the result of population growth, the American takeover and the confirmation of property titles. Prior to the legal resolution of titles, the transfer of real estate was extremely risky. Large cattle ranches were

converted to farming varied crops, and this agricultural land-use pattern continued throughout the American Period. (Source MST Environmental Document)

The agricultural valley region around King City began to become an important supplier of food for California and the rest of the nation. Also, during the beginning of the American Period, as the Salinas Valley was transformed into lush farms and ranches, the Native American population plummeted and their villages vanished. "Between 1846 and 1870, California's Indian population plunged from perhaps 150,000 to 30,000. Diseases, dislocation and starvation caused many of these deaths, but the near-annihilation of the California Indians was not the unavoidable result of two civilizations coming into contact for the first time." According to Native American historian, Benjamin Madley, and other historians, a major cause of the Native American population decline during the settlement period of Americans was genocide rather than illnesses. (source: Benjamin Madley, UCLA). During the period of settlement by Americans, it is likely that some of the ancient local Salinan villages along the Salinas River and tributaries became sites for future cities.

The site was historically farming use prior to urban development in the 1990's. There are no known cultural, archaeological, paleontological or historical resources on the site. However, there is a small potential for possible resources below the surface. The following mitigation measure will be included as a project condition to ensure that impacts do not occur.

The project will be so conditioned:

Mitigation Measure No. 5.a, 5.b, 5.c, 5.d: Cultural Resources: In the event of an accidental discovery or recognition of any human remains, archaeological resources, paleontological resources or historical resources on the project site, if said resources are found during excavation or construction, work will be halted at a minimum of 30 feet from the find and the area will be staked off. There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie cultural resources, paleontological resources, historical resources or, in the case of adjacent human remains until the coroner of Monterey County is contacted to determine that no investigation of the cause of death is required. If the coroner determines the remains to be Native American the coroner shall contact the Native American Heritage Commission within 24 hours. A qualified professional (to be hired by the applicant and accepted by the City) in cultural resources, paleontological resources or historical resources shall evaluate the resources discovered at the site and provide recommendations for disposition of those resources. In the case of human remains, the Native American Heritage Commission shall identify the person or persons it believes to be the most likely descendent ("MLD") from the deceased Native American. The MLD may then make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and associated grave goods as provided in Public Resources Code Section 5097.98. The landowner or its authorized representative shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further disturbance if: a) the Native American Heritage Commission is unable to identify a MLD or the MLD failed to make a recommendation within 24 hours after being notified by the commission; b) the descendent identified fails to make a recommendation; or c) the landowner or its authorized representative rejects the recommendation of the descendent, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner."

6.	GEOLOGY /SOILS	Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant or Not Applicable	Impact Reviewed in Previous Document
	Would the project:					
a.	Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:			X		
i)	Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist or based on other substantial evidence of a known fault? (Refer to Division of Mines and Geology Publication 42)				X	
ii)	Strong Seismic ground shaking?				X	
iii)	Seismic-related ground failure, including liquefaction?				X	
iv)	Landslides?				X	
b.	Result in substantial erosion or the loss of topsoil?			X		
c.	Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?				X	
d.	Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?				X	
e.	Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?				X	

Impact Discussion:

The valley is generally described as having quaternary deposits according to the State of California Department of Conservation "Geologic Map of California." Quaternary means "belonging to the geologic time, system of rocks, or sedimentary deposits of the second period of the Cenozoic Era, from the end of the Tertiary Period through the present, characterized by the appearance and development of humans and including the Pleistocene and Holocene epochs." (Source: Free Dictionary website). The Salinas Valley is made up of primarily alluvial soils deposited over time by the periodic flooding processes of the Salinas River and its tributaries. In this sense, flooding is normal and beneficial process in which soils are built up in valley floors.

The City of King is located in the Salinas Valley between the Santa Lucia and Gabilan mountain ranges which is a broad basin filled with several thousand feet of sediment. The City is within close proximity to numerous fault lines, the most prominent being the San Andreas east of the City and the Rinconada to the west. According to the AMBAG 2035 MTP/SCS and RTPs for Monterey, San Benito, and Santa Cruz EIR, Section 4.7 Geology and Soils Section, Monterey County "is susceptible to high levels of groundshaking due to the numerous active faults which pass through or border the area. The portions of Monterey County with the highest susceptibility to ground-shaking are the lower Salinas Valley (northward from the City of Gonzales), the peninsular area from Carmel to the Santa Cruz County line, and in the southeast around Parkfield." According to the EarthquakeTrack.com, within the past year there have been 754 earthquakes of magnitude 1.5 or larger in the region near the City of King, with 63 earthquakes within the past month (at

the time of the preparation of this Initial Study). Most of those earthquakes have occurred east of Gonzalez, Soledad, Greenfield and City of King in clusters along the San Andreas Fault which parallels the Salinas Valley.

Future major earthquakes in or near the City of King appear likely. The proposed structure will need to be designed to meet the seismic forces that could affect the structure from the potential groundshaking hazard.

Erosion will be addressed by preparation of plans for grading and construction erosion control and measures to maintain rainstorm flows on-site.

Proposed Mitigation Measures:

Mitigation Measure No. 6.a: Prior to grading and construction, a soils report will be required and the structure will be designed to meet the requirements specified in that report. The architect or structural engineer shall verify that the structure will meet all seismic requirements.

Mitigation Measure No. 6.b: Prior to grading and construction, a plan to address grading and construction-related rainstorm erosion and sedimentation shall be prepared and approved by the City Engineer. Measures shall include erosion protection during rainstorms by protection of the soil using methods to be approved by the City Engineer. After construction, permanent erosion control and measures to maintain rainstorm flows on-site will be employed as approved by the City Engineer.

In addition, the project will disturb an area of over one-acre and therefore requires the preparation and approval of a Stormwater Pollution Prevention Plan ("SWPPP") as required by the State of California State Water Resources Control Board and Central Coast Regional Water Quality Control Board. The SWPPP shall be approved prior to issuance of grading and building permits. Compliance with the erosion and sediment control measures are the responsibility of the property owner.

7. HAZARDS/HAZARDOUS MATERIALS		Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
Would the project:						
a.	Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?			X		
b.	Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				X	
c.	Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X	
d.	Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would create a significant hazard to the public or the environment?				X	
e.	Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X	

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f.	Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				X	
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Impact Discussion: There are no known surface or subsurface contamination sites on the property. There are two registered subsurface contamination sites located over 500 feet of the site. GeoTracker Waterboards Website search turned up the following contamination sites. Both are listed as open sites.

Toro Petroleum (T0605318033) located at 448 METZ RD. A Cleanup Program Site, Cleanup Status: Open - Remediation RB Case #: 3533
 SABEC INC. (T0605374810) located at 412 METZ RD. Cleanup Program Site Cleanup Status: Open - Site Assessment RB Case #: 3534

The warehouse will be used for the storage and transport of agricultural products and other similar agricultural amendments, some of which may contain hazardous or toxic materials.

Proposed Mitigation Measures:

Mitigation Measure No. 7.a: The applicant shall store, maintain and transport materials (including but not limited to fertilizers, pesticides and agricultural amendments and products) in the manner recommended by the manufacturer of those products and shall further comply with all local, state and federal safety standards related to the storage and handling of said products and materials.

8.	HYDROLOGY/WATER QUALITY	Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
	Would the project:					
a.	Violate any water quality standards or waste discharge requirements?			X		
b.	Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?				X	
c.	Substantially alter the existing drainage pattern on the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off-site?				X	
d.	Substantially alter the existing drainage pattern on the site or area, including through the alteration of the course of a stream or substantially increase the rate or amount of surface runoff in a manner, which would result in flooding on- or off-site?			X		
e.	Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff or fail to meet the new CCRWQCB standards for stormwater control?				X	
f.	Otherwise substantially degrade water quality?				X	

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g.	Place housing within a 100-year flood hazard area as mapped on a federal flood hazard boundary or flood insurance rate map or other flood hazard delineation map?				X	
h.	Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				X	
i.	Inundation by seiche, tsunami, or mudflow?				X	

Impact Discussion:

The project will not create any significant environmental impacts on water supply or water quality.

Cal Water Service Company has provided water utility services in the City of King since 1962. In servicing the City, Cal Water utilizes six wells, three storage tanks, four booster pumps, and over twenty-nine (29) miles of pipeline delivering 2.4 million gallons of Salinas Valley groundwater per day to more than 2,500 service connections within the City area.

Recharge to the groundwater system is primarily from stream-channel infiltration from the major rivers and their tributaries, and from infiltration of water from precipitation and irrigation. The primary sources of discharge are water pumped for irrigation and municipal supply, evaporation, and discharge to streams."

Standards have been adopted to reduce surface water rainfall runoff and improve water quality. The project will be required to implement measures that will ensure that those standards are met.

Proposed Mitigation Measures:

Mitigation Measure No. 8.a&d: The City Engineer shall review each project to assure compliance with these requirements, including the Regional Water Quality Control Board (RWQCB) "POST-CONSTRUCTION STORMWATER MANAGEMENT REQUIREMENTS FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION." These RWQCB standards include BMPs for erosion and sediment control during project construction and after completion of the project. LID measures include, but are not limited to: i) limiting disturbance of creeks and natural drainage features, minimizing compaction of highly permeable soils, limiting removal of native vegetation at the site to the minimum area needed to build the project, limiting impermeable surfaces, including buildings and paving, and the use of innovative design layout that further increases permeable surfaces and landscaping. Measures shall include those necessary to protect water quality during the grading and construction period as well as permanent measures after completion of the project.

Development shall minimize stormwater runoff by implementing one or more of the following site design measures identified by the RWQCB:

- (1) Direct roof runoff into cisterns or rain barrels for reuse
- (2) Direct roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California building code
- (3) Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California building code
- (4) Direct runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California building code
- (5) Construct bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces
- (6) The directing of runoff to bioretention basins,

(7) Other similar measures as determined by the City Engineer.

9.	LAND USE AND PLANNING	Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
	Would the project:					
a.	Physically divide an established community?				X	
b.	Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to, the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?				X	
c.	Conflict with any applicable habitat conservation plan or natural community conservation plan?				X	

Impact Discussion:

The project is consistent (including conditions which will be applied to the permit) with all zoning and general plan standards.

Proposed Mitigation Measures:

No mitigations necessary.

10.	NOISE	Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
	Would the project:					
a.	Expose people to, or generate, noise levels exceeding established standards in the local general plan, coastal plan, noise ordinance or other applicable standards of other agencies?				X	
b.	Expose persons to or generate excessive ground borne vibration or ground borne noise levels?				X	
c.	Cause a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?				X	
d.	Cause a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?				X	

Impact Discussion:

The project is not anticipated to create any significant noises nor should workers in the proposed building be subjected to significant noise. The project will not result in any significant noise or subject employees at the site to any unacceptable noise levels nor will it create significant noise impacting any nearby residential uses.

Proposed Mitigation Measures:

No mitigations necessary

11. POPULATION AND HOUSING		Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
Would the project:						
a.	Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?				X	
b.	Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?				X	
c.	Induce substantial growth in an area either directly (for example, by proposing new homes and businesses) or indirectly (e.g. through extension of roads or other infrastructure)?				X	

Impact Discussion:

The project will not significantly affect housing or result in any displacement of City residents.

Proposed Mitigation Measures:

No mitigations necessary

12. PUBLIC SERVICES		Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
Would the project result in a substantial adverse physical impact associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:						
a.	Fire protection?				X	
b.	Police protection?				X	
c.	Schools?				X	
d.	Parks or other recreational facilities?				X	
e.	Other governmental services?				X	

Impact Discussion:

The project will not significantly impact any City services. Hazards are not deemed to be significant if safety of products are maintained.

Proposed Mitigation Measures:

No mitigations necessary

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13. RECREATION		Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
Would the project:						
a.	Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?				X	
b.	Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?				X	

Impact Discussion:

The project will not impact recreational services or facilities.

Proposed Mitigation Measures:

No mitigations necessary

14. TRANSPORTATION/CIRCULATION		Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
Would the project:						
a.	Cause an increase in traffic, which is substantial in relation to the existing traffic load and capacity of the street system (i.e. result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?				X	
b.	Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways?				X	
c.	Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?				X	
d.	Substantially increase hazards due to a design feature (e.g. limited sight visibility, sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?				X	
e.	Result in inadequate emergency access?				X	
f.	Result in inadequate parking capacity?			X		
g.	Conflicts with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks)?				X	

Impact Discussion:

The project will be required to meet all access and parking requirements of the City.

Proposed Mitigation Measures:

Mitigation Measure No. 14.f: The applicant shall improve seventeen (17) parking spaces for the proposed use. The front parking area will have sixteen (16) standard spaces with one (1) additional spaces to be located behind the security fences. The Director and City Engineer to review and approve plans and improvements for these parking spaces. Parking spaces and driveways shall be either two inches of asphalt over four inches of base or suitable pavers over base with adjacent landscaping areas as described on the project submittals. Driveway entrances shall require encroachment permits to be reviewed and approved by the City.

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15. UTILITIES & SERVICE SYSTEMS			Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
Would the project:						
a.	Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?				X	
b.	Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				X	
c.	Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				X	
d.	Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?				X	
e.	Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				X	
f.	Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?				X	
g.	Comply with federal, state, and local statutes and regulations related to solid waste?				X	

Impact Discussion:

As described above, the site will have to meet all Central Coast RWQCB stormwater requirements for runoff.

Adequate facilities are available to serve the proposed uses and building and the project will comply with all federal, state and local regulations.

Improvements will be subject to the review and approval of the City prior to issuance of the building permit.

Proposed Mitigation Measures

Mitigation Measure No. 15.c: The applicant shall be required to meet all measures for stormwater pollution control, waste management, and provide public utility connections that comply with the City and other service providers.

V. INFORMATION SOURCES:

A. County/City/Federal Departments Consulted:

- City Manager
- City Engineer
- Building Official
- Fire Chief and Police Chief

B. General Plan

- | | |
|---|--|
| <input checked="" type="checkbox"/> Land Use Element | <input checked="" type="checkbox"/> Conservation Element |
| <input checked="" type="checkbox"/> Circulation Element | <input checked="" type="checkbox"/> Noise Element |
| <input checked="" type="checkbox"/> Seismic Safety/Safety Element | <input type="checkbox"/> First Street Corridor Master Plan |
| <input checked="" type="checkbox"/> Zoning Ordinance | <input checked="" type="checkbox"/> Housing Element |
| <input checked="" type="checkbox"/> Economic Development Element | <input type="checkbox"/> Historic Corridor Revitalization Plan and Form Based Code |
| <input type="checkbox"/> | <input type="checkbox"/> |

C. Other Sources of Information

- | | |
|---|---|
| <input checked="" type="checkbox"/> Field work/Site Visit | <input type="checkbox"/> Ag. Preserve Maps |
| <input checked="" type="checkbox"/> Calculations | <input checked="" type="checkbox"/> Flood Control Maps |
| <input checked="" type="checkbox"/> Project Area History | <input checked="" type="checkbox"/> Other studies, reports |
| <input type="checkbox"/> Traffic Study | <input checked="" type="checkbox"/> Archaeological reports previous studies |
| <input checked="" type="checkbox"/> Records | <input checked="" type="checkbox"/> Seismic activity website information |
| <input checked="" type="checkbox"/> Zoning Maps | <input type="checkbox"/> Waste disposal sites |
| <input checked="" type="checkbox"/> General Plan Map | <input checked="" type="checkbox"/> Other websites and technical studies |
| <input checked="" type="checkbox"/> Monterey-Salinas | <input checked="" type="checkbox"/> East Ranch Business Park Specific Plan |
| <input type="checkbox"/> Transit Environmental Document | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> |

VI. MANDATORY FINDINGS OF SIGNIFICANCE (Cal. Pub. Res. Code §15065)

A project may have a significant effect on the environment and thereby require a focused or full environmental impact report to be prepared for the project where any of the following conditions occur (CEQA §15065):

	Significant	Unknown Potential Significant	Potential Significant and Mitigated	Not Significant	Impact Reviewed in Previous Document
Potential to degrade: Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?				X	
Cumulative: Does the project have impacts that are individually limited but cumulatively considerable? (Cumulatively considerable means that incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?				X	
Substantial adverse: Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?				X	

VII. INITIAL STUDY DETERMINATION

On the basis of the Initial Study evaluation:

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared

I find that the proposed project **MAY** have limited and specific significant effect on the environment, and a **FOCUSED ENVIRONMENTAL IMPACT REPORT** is required.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

Initial Study Determination With Public Hearing

Initial Study Determination Without Public Hearing

Previous Document:

Initial Study Project Evaluator:

Donald J. Funk CPESC, QSD/QSP

Signature

Initial Study Date

Printed Name

**City of King
Lead Agency**

VIII. MITIGATION MONITORING AND REPORTING PROGRAM OF THE MITIGATED NEGATIVE DECLARATION

Mitigation Measure No. 1.a, b, c and d: Project shall be conditioned to locate the electrical boxes and trash enclosure behind the front setback and landscape the area in front of the boxes and trash enclosure. Project shall also be conditioned to comply with the ERBP-SP requirements for irrigation and lighting. Further, Mansard roofs, parapets, overhangs, and awnings will be decorative and coordinated with the architecture and colors of the building. Visible roofing materials on these features will be tile or architectural metal. Composition, tar and rock roofing materials are not acceptable for visible roofing. Site and roof-mounted equipment shall be painted and screened from adjacent public street visibility and shall coordinate with architectural features of the building. Well maintained antenna towers and satellite dishes may be left unpainted. These details must appear on elevations submitted for architectural review. Windows and main entrance doors will be bronze glass for appearance and energy conservation. Wind barriers consistent with the architecture and colors of the building may be built to a maximum height of thirty feet (30') and not to exceed the height of the building. Electrical and mechanical apparatus and fixtures located on exterior walls shall be concealed from street visibility in a manner consistent with the architectural design of the building. Dumpsters and trash collection areas must be enclosed or suitably screened from street visibility.

Implementation Party: Applicant and Owner

Enforcement Agency: City of King

Timing: Plan showing relocated trash enclosures and any above-ground electrical boxes required to be prepared and approved prior to issuance of building permit and implemented during grading and construction.

Implementation Responsibility: Applicant prepare revision to plans prior to issuance of building permit.

Mitigation Measure No. 3.e: A plan shall be prepared by the project engineer or Certified Professional Erosion Control Specialist (for dust, chemical pollution and erosion control) to ensure these measures are implemented. Where appropriate, said dust protection plan may be part of a project erosion and sediment control plan. All new projects must comply with all Federal, State, Regional, and local air quality standards. State law requires any facility that has the potential to emit air contaminants to apply for a permit from Monterey Bay Unified Air Pollution Control District ("MBUAPCD"). Additionally, if development within the Project includes other sources that are exempt from MBUAPCD permit authority (e.g., indirect sources, fugitive area sources), all direct and indirect emissions should be compared to the appropriate threshold(s) of significance. When net emissions from a new or modified facility exceed State thresholds, the increase shall be offset. New businesses and/or tenants of the facility shall consult directly with the MBUAPCD for permitting requirements and compliance with air quality standards.

Implementation Party: Applicant and Owner

Enforcement Agency: Monterey Bay Unified Air Pollution Control District

Timing: Plan required to be prepared and approved prior to issuance of building permit and implemented during grading and construction.

Implementation Responsibility: Applicant shall implement measures constantly through grading and construction. Measures to prevent dust shall continue after completion of project.

Mitigation Measure No. 5.a, 5.b, 5.c, 5.d: Cultural Resources: In the event of an accidental discovery or recognition of any human remains, archaeological resources, paleontological resources or historical resources on the project site, if said resources are found during excavation or construction, work will be halted at a minimum of thirty (30') feet from the find and the area will be staked off. There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie cultural resources, paleontological resources, historical resources or, in the case of adjacent human remains until the coroner

of Monterey County is contacted to determine that no investigation of the cause of death is required. If the coroner determines the remains to be Native American the coroner shall contact the Native American Heritage Commission within 24 hours. A qualified professional (to be hired by the applicant and accepted by the City) in cultural resources, paleontological resources or historical resources shall evaluate the resources discovered at the site and provide recommendations for disposition of those resources. In the case of human remains, the Native American Heritage Commission shall identify the person or persons it believes to be the most likely descendent ("MLD") from the deceased Native American. The MLD may then make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and associated grave goods as provided in Public Resources Code Section 5097.98. The landowner or its authorized representative shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further disturbance if: a) the Native American Heritage Commission is unable to identify a MLD or the MLD failed to make a recommendation within 24 hours after being notified by the commission; b) the descendent identified fails to make a recommendation; or c) the landowner or its authorized representative rejects the recommendation of the descendent, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner."

Implementation Party: Applicant and Owner

Enforcement Agency: City of King

Timing: Evaluation required during grading and construction of project. Contractor and Applicant shall diligently watch for any potential materials that may be of archaeological, historic or paleontological significance.

Implementation Responsibility: Cost and materials are responsibility of Applicant

Mitigation Measure No. 6.a: Prior to grading and construction, a soils report will be required and the structure will be designed to meet the requirements specified in that report. The architect or structural engineer shall verify that the structure will meet all seismic requirements.

Implementation Party: Applicant and Owner

Enforcement Agency: City of King

Timing: Soils information shall be provided to the Building Official as required to make determinations regarding structure and site stability.

Implementation Responsibility: Cost and materials are responsibility of Applicant

Mitigation Measure No. 6.b: Prior to grading and construction, a plan to address grading and construction-related rainstorm erosion and sedimentation shall be prepared and approved by the City Engineer. Measures shall include erosion protection during rainstorms by protection of the soil using methods to be approved by the City Engineer. After construction, permanent erosion control and measures to maintain rainstorm flows on-site will be employed as approved by the City Engineer.

In addition, the project will disturb an area of over one-acre and therefore requires the preparation and approval of a Stormwater Pollution Prevention Plan ("SWPPP") as required by the State of California State Water Resources Control Board and Central Coast Regional Water Quality Control Board. The SWPPP shall be approved prior to issuance of grading and building permits. Compliance with the erosion and sediment control measures are the responsibility of the property owner.

Implementation Party: Applicant and Owner

Enforcement Agency: RWQCB and City of King

Timing: SWPPP, erosion and sedimentation plan shall be prepared and approved prior to the issuance of the grading and building permit. Plan to be reviewed by the City Engineer and approved

by the RWQCB. Measures shall be applied during entire period of grading and construction. Measures shall also be implemented after the completion of the project for the life of the project.

Implementation Responsibility: Cost and materials are responsibility of Applicant

Mitigation Measure No. 7.a: The applicant shall store, maintain and transport materials (including but not limited to fertilizers, pesticides and agricultural amendments and products) in the manner recommended by the manufacturer of those products and shall further comply with all local, state and federal safety standards related to the storage and handling of said products and materials.

Implementation Party: Applicant and Owner

Enforcement Agency: County of Monterey Environmental Health and City of King

Timing: Measures shall be implemented for the life of the project.

Implementation Responsibility: Cost and materials are responsibility of Applicant

Mitigation Measure No. 8.a&d: The City Engineer shall review each project to assure compliance with these requirements, "POST-CONSTRUCTION STORMWATER MANAGEMENT REQUIREMENTS FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION." These RWQCB standards include BMPs for erosion and sediment control during project construction and after completion of the project. LID measures include, but are not limited to: i) limiting disturbance of creeks and natural drainage features, minimizing compaction of highly permeable soils, limiting removal of native vegetation at the site to the minimum area needed to build the project, limiting impermeable surfaces, including buildings and paving, and the use of innovative design layout that further increases permeable surfaces and landscaping. Measures shall include those necessary to protect water quality during the grading and construction period as well as permanent measures after completion of the project.

Development shall minimize stormwater runoff by implementing one or more of the following site design measures identified by the RWQCB:

- (1) Direct roof runoff into cisterns or rain barrels for reuse
- (2) Direct roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California building code
- (3) Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California building code
- (4) Direct runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California building code
- (5) Construct bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces
- (6) The directing of runoff to bioretention basins,
- (7) Other similar measures as determined by the City Engineer.

Implementation Party: Applicant and Owner

Enforcement Agency: RWQCB and City of King

Timing: Plan shall be approved by the RWQCB and City Engineer and implemented for all grading, construction and for the life of the project on a long-term basis.

Implementation Responsibility: Cost and materials are responsibility of Applicant

Mitigation Measure No. 14.f: The applicant shall improve seventeen (17) parking spaces for the proposed use. The front parking area will have sixteen (16) standard spaces with one (1) accessible

Negative Declaration and Initial Study, Proposed Construction of a new 14,510SQ FT Warehouse at 111 East San Antonio Road, King City, CA 93930 (October 9, 2017)

parking space. The Director and City Engineer to review and approve plans and improvements for these parking spaces. Parking spaces and driveways shall be either two inches of asphalt over four inches of base or suitable pavers over base with adjacent landscaping areas as described on the project submittals. Driveway entrances shall require encroachment permits to be reviewed and approved by the City.

Implementation Party: Applicant and Owner

Enforcement Agency: City of King

Timing: Plan for parking to be prepared by the applicant and approved by the Director and City Engineer prior to issuance of building permit.

Implementation Responsibility: Cost and materials are responsibility of Applicant

Mitigation Measure No. 15.c: The applicant shall be required to meet all measures for stormwater pollution control, waste management, and provide public utility connections that comply with the City and other service providers.

Implementation Party: Applicant and Owner

Enforcement Agency: RWQCB and City of King

Timing: Measures for Low Impact Development ("LID") shall be prepared by the applicant and approved by the City Engineer prior to issuance of building permit. Measures shall be implemented for the life of the use of the site.

Implementation Responsibility: Cost and materials are responsibility of applicant

Negative Declaration and Initial Study, Proposed Construction of a new 14,510SQ FT Warehouse at 111 East San Antonio Road, King City, CA 93930 (October 9, 2017)

Attachment B
CORRESPONDENCE

EXHIBIT 6 PROJECT DESCRIPTION

Project Address: 111 East San Antonio Drive
APN: 026-521-038
Conditional Use Permit and Architectural Review Application

June 6, 2017

OWNER | APPLICANT

Santa Maria Seeds
Manny Silva III
2390 A Street
Santa Maria, CA 93455

PROJECT DESCRIPTION

This development at 111 East San Antonio Drive is a new vegetable seed storage warehouse, with associated site improvements including parking, site walls, site lighting, fencing, landscape, and refuse enclosure. The primary warehouse use is accompanied by general office use which includes the sales of vegetable seed. There is no processing or manufacturing involved at this location. Vegetable seed is purchased from seed breeders and will be stored in this warehouse. It is anticipated that there will 1-2 truck deliveries per day, though at times there are no deliveries in a given day. The facility will operate from 5:00am to 6:00pm daily with eight employees currently staffed, with hopes of increasing this number- the office portion of the building is designed with this increase in mind.

Thank you for the opportunity to submit this project on the behalf of Santa Maria Seeds, we look forward to working with the City of King toward a successful project.



Bryan Ridley [architect]
bracket architecture office
805.704.0535
br@bracketao.com

INCLUDED WITH THIS SUBMITTAL

Project Description	10 copies
Project Plans, 24x36	1 set
Project Plans, 11x17	10 sets
Color Materials + Rendering	10 copies

CITY OF KING

JUN - 7 2017

CUP 2017-005, AR 2017-002



**EXHIBIT 6
ELEVATIONS**

CITY OF KING

JUN - 7 2017



CONCEPTUAL EXTERIOR VIEW

Santa Maria Seeds Warehouse

111 East San Antonio Drive, King City
17.0606

**CUP 2017-005
AR 2017-002**

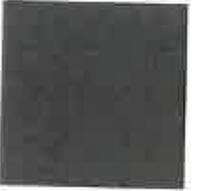
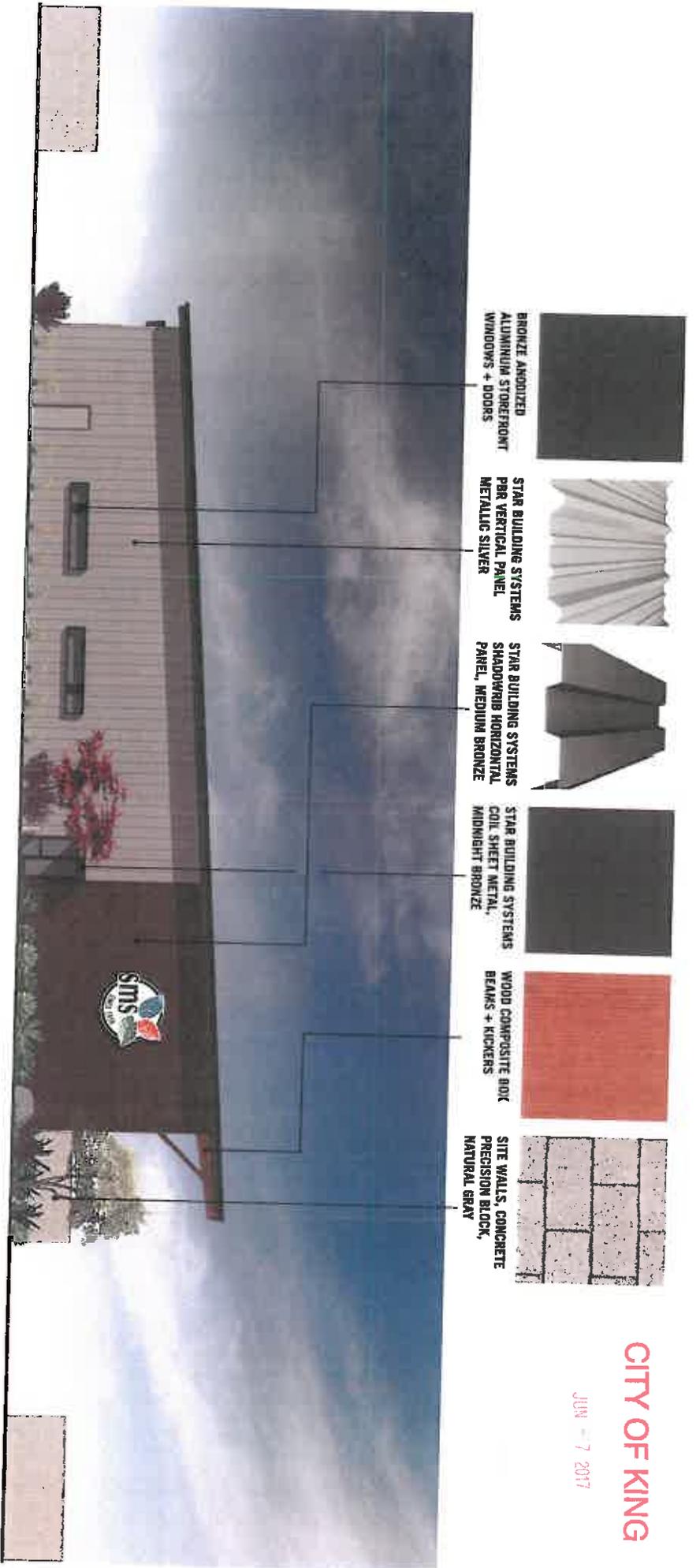
CUP / ARC Application



bracket
architecture office

CITY OF KING

JUN 7 2017



BRONZE ANODIZED ALUMINUM STOREFRONT WINDOWS + DOORS



STAR BUILDING SYSTEMS PER VERTICAL PANEL METALLIC SILVER



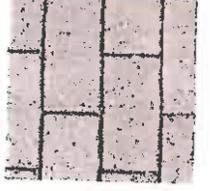
STAR BUILDING SYSTEMS SHADOWRIB HORIZONTAL PANEL, MEDIUM BRONZE



STAR BUILDING SYSTEMS COIL SHEET METAL, MIDNIGHT BRONZE



WOOD COMPOSITE BOUC BEAMS + KICKERS



SITE WALLS, CONCRETE PRECISION BLOCK, NATURAL GRAY

MATERIALS + COLORS
SOUTH ELEVATION | SAN ANTONIO DRIVE

Santa Maria Seeds Warehouse

111 East San Antonio Drive, King City
17 0606

COP 2017-005
PR 2017-002

CUP | ARC Application





SWEET ACACIA TREE



ROYAL PURPLE SMOKE TREE



MIXED AGAVE



MIDNIGHT BLACK MULCH



ALLGOLD BROOM



BLACK PHORMIUM

CITY OF KING

JUN - 7 2017



REDTING DOGWOOD



DROUGHT TOLERANT MEADOW



**MATERIALS + COLORS
LANDSCAPE PALETTE**

Santa Maria Seeds Warehouse

111 East San Antonio Drive, King City
170606

CUP 2017-005
AR 2017-002

CUP IARC Application



HARRISON INTERNATIONAL, INC.
 SURVEYORS - ENGINEERS - PLANNERS
 2700 E. SHAW AVE., SUITE 104, FRESNO, CA 93710
 PHONE: (509) 294-7400 FAX: (509) 294-7401

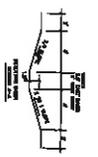
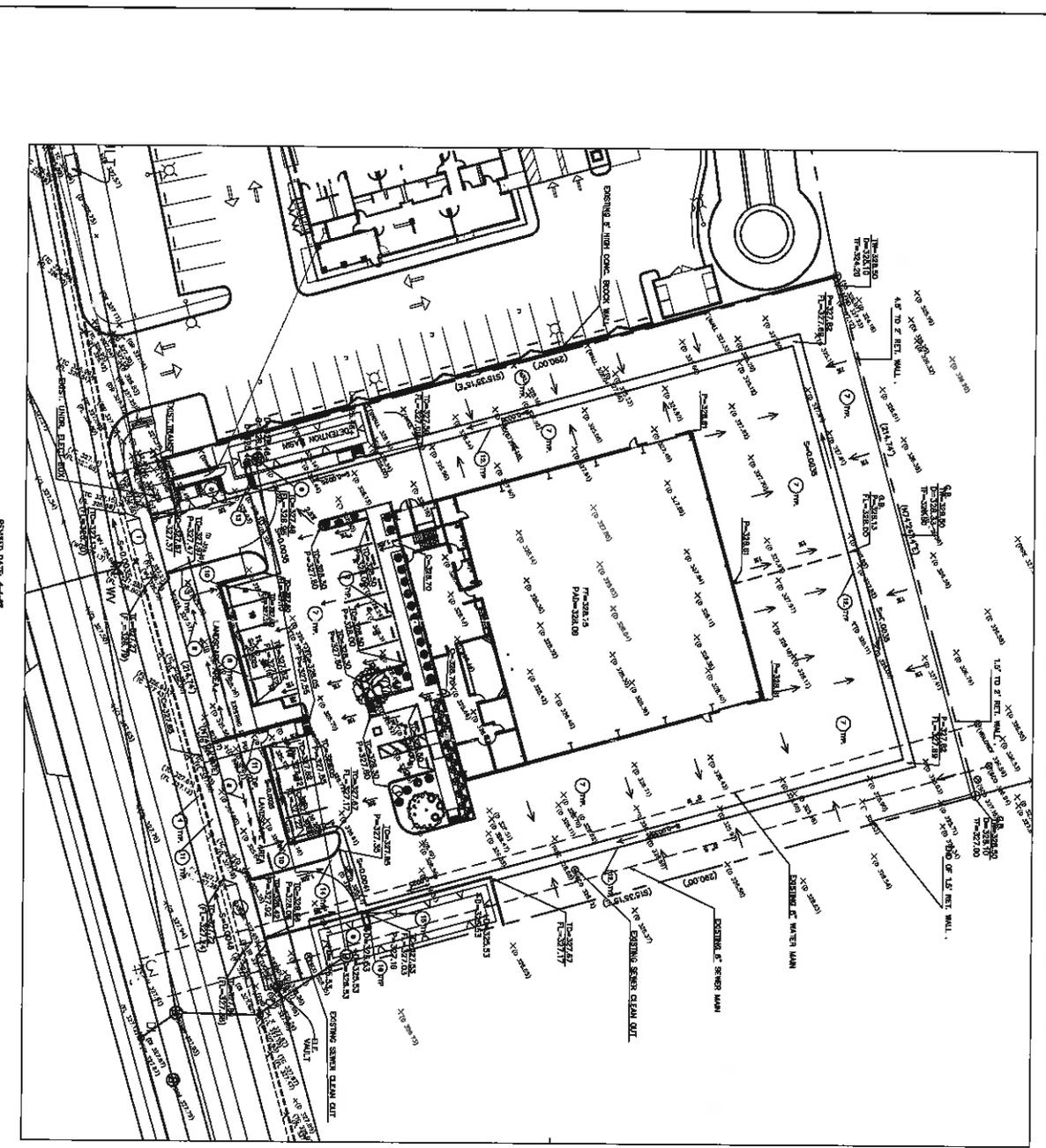
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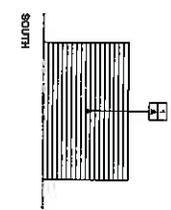
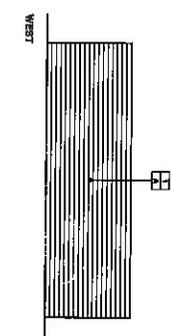
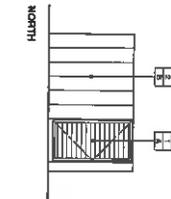
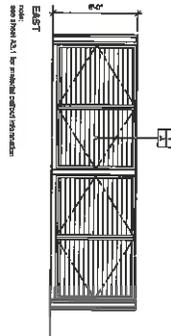
GRADING AND DRAINAGE PLAN
 NORTHEAST CORNER OF EAST SAN ANTONIO DRIVE AND METZ ROAD
 CITY OF KING, MONTEREY COUNTY, CALIFORNIA

SHEET
 OF SHEETS



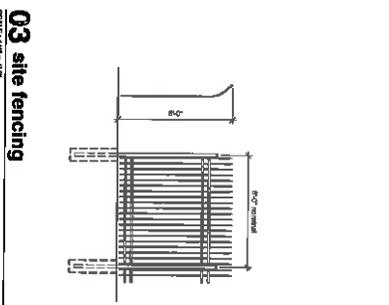
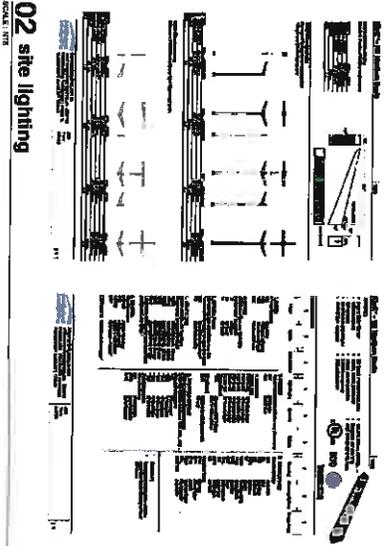
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01 refuse enclosure elevations

SCALE: 1/4" = 1'-0"



elevation notes

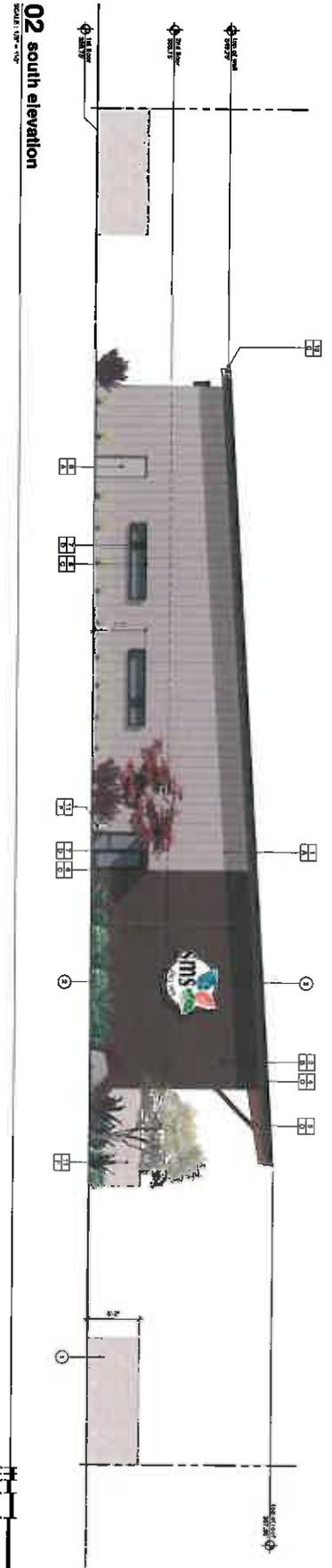
- 1. exterior wall finish
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materials + colors

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01 west elevation
SCALE: 1/8" = 1'-0"



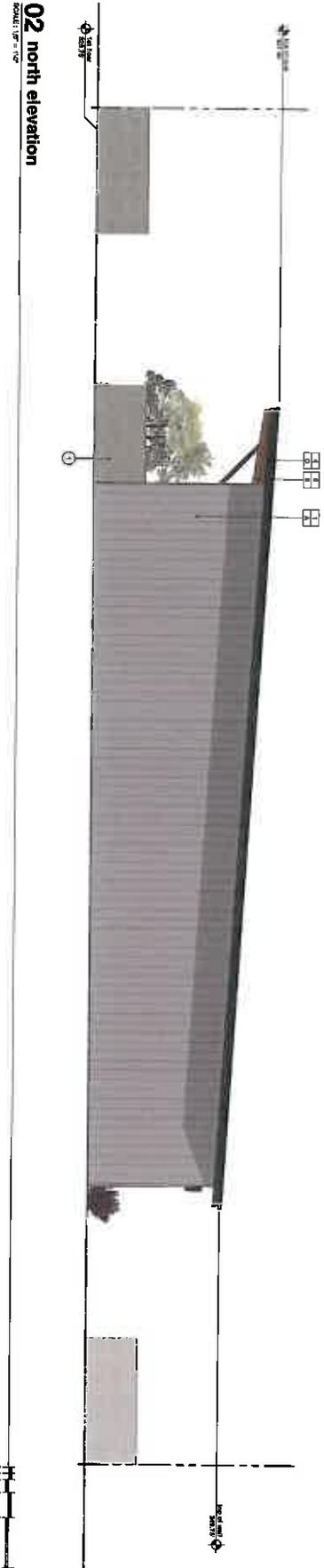
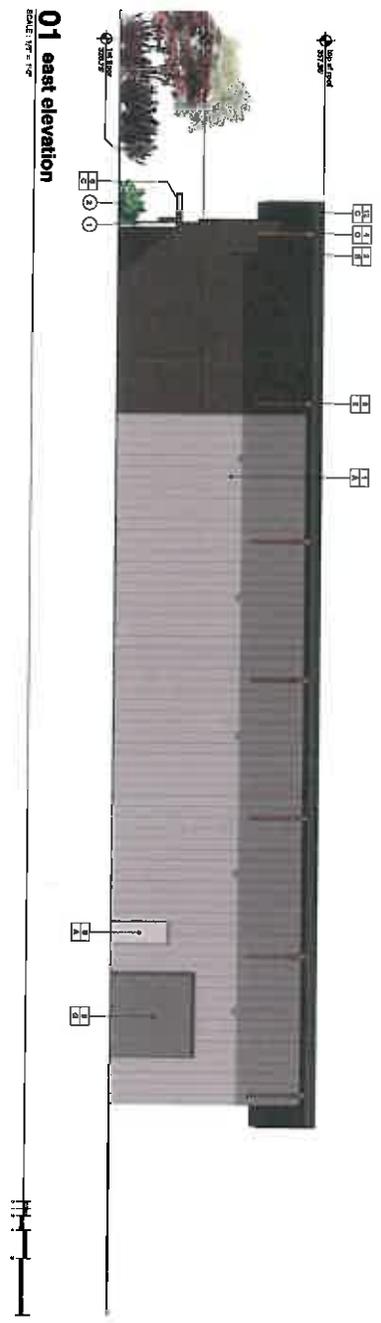
02 south elevation
SCALE: 1/8" = 1'-0"



- elevation notes**
- 1. exterior wall color
 - 2. window and door
 - 3. roof color
 - 4. landscape

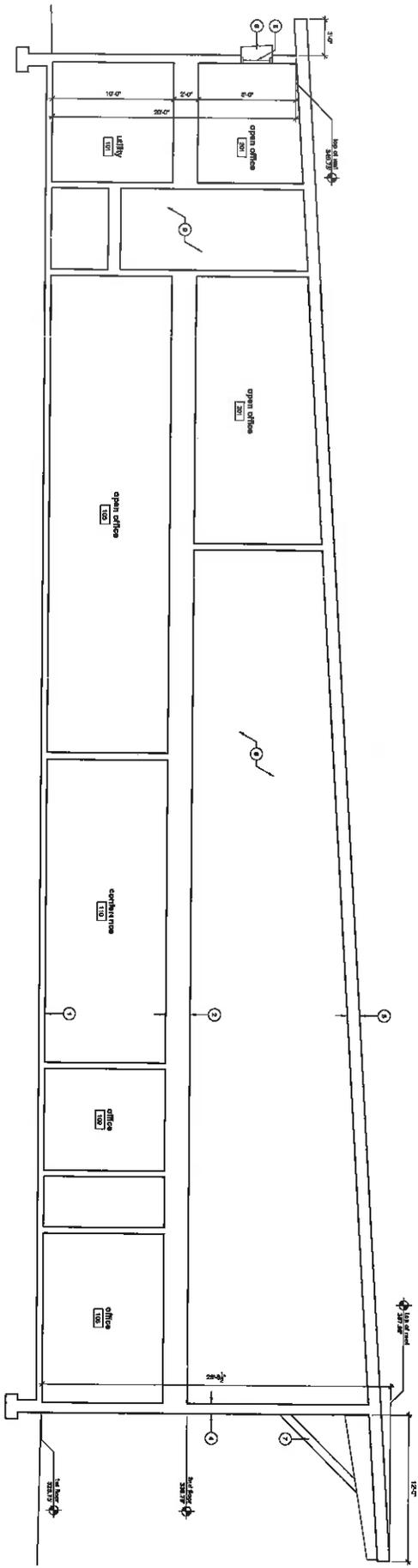
materials + colors

- Color Notes**
- 1. exterior wall color
 - 2. window and door
 - 3. roof color
 - 4. landscape
 - 5. interior wall color
 - 6. interior floor color
 - 7. interior ceiling color
 - 8. interior door color
 - 9. interior window color
 - 10. interior wall color
 - 11. interior floor color
 - 12. interior ceiling color



01 transverse building section

SCALE: 1/8" = 1'-0"



section notes

1. concrete foundation
2. exterior masonry
3. steel framing
4. steel deck
5. steel joists
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Item No. 8(A)

REPORT TO THE PLANNING COMMISSION

DATE: NOVEMBER 7, 2017
TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION
FROM: DOREEN LIBERTO, AICP, COMMUNITY DEVELOPMENT DIRECTOR
BY: DONALD J. FUNK, PRINCIPAL PLANNER
RE: DISCUSSION OF LOT SIZES AND ORDINANCE REQUIREMENTS FOR MINIMUM NEW LOTS

RECOMMENDATION:

It is recommended Planning Commission discuss lot size requirements and provide direction to staff.

BACKGROUND:

On **October 3, 2017**, several Commissioners requested information related to lot size requirements of the Zoning Ordinance and identify how those criteria compare with existing lots in the City. This memo is not an exhaustive study of lot sizes. However, it does describe general existing code requirements as well as some typical existing lot sizes and configurations in older residential areas near the Downtown.

ZONING CRITERIA AND EXISTING LOTS:

The Zoning Regulations and Subdivision Regulations provide criteria for the minimum lot sizes, including minimum widths and depths of lots. Residential Zones. Following are minimum lot size criteria from the Zoning Regulations.

R-1

17.12.060 Minimum building site.

Unless optional design standards are used as set out in Section 17.12.110:

- (1) Minimum building site shall be **six thousand square feet** of lot for residential uses. Churches and other public uses, twenty thousand square feet;
- (2) Minimum lot width shall be **sixty feet** for residential uses. Churches and other public uses, one hundred feet;
- (3) Minimum lot depth shall be **ninety feet**. (Ord. 354 § 4.22.6, 1973)

**PLANNING COMMISSION
LOT SIZE DISCUSSION
NOVEMBER 7, 2017
PAGE 2 OF 5**

R-2

17.14.060 Minimum building site.

Unless optional design standards are used as set out in Section 17.14.110:

- (1) Minimum building site shall be **six thousand square feet, corner lot seven thousand square feet**, for residential purposes. Churches and other public uses, twenty thousand square feet;
- (2) Minimum lot width shall be **sixty feet, seventy feet** on corner lots, for residential purposes. Churches and other public uses, one hundred feet;
- (3) Minimum lot depth shall be **ninety feet**. (Ord. 354 § 4.23.6, 1973)

R-3

17.16.060 Minimum building site.

Unless optional design standards are used as set out in Section 17.16.110:

- (1) Minimum building site shall be **six thousand square feet** for corner or interior lots for residential uses. Churches and other public uses, twenty thousand square feet.
- (2) Minimum lot width for corner lots shall be **seventy feet** and interior lots **sixty feet**.
- (3) Minimum lot depth shall be **one hundred feet**. (Ord. 354 § 4.24.6, 1973)

R-4

17.18.060 Minimum building site.

Unless design standards are used as set out in Section 17.18.110:

- (1) Building sites for churches and public buildings shall be fifteen thousand square feet; schools, one acre; residential uses, corner lots seven thousand square feet; interior lots six thousand square feet; mobile home parks, minimum five acres.
- (2) Minimum lot width required for schools, churches and public buildings shall be one hundred feet; residential uses, corner lots seventy feet, interior lots sixty feet; all other uses as designated in the use permit. Interior lot width is reduced to a minimum of fifty feet for existing lots of record as of January 1, 2004. (Ord. 647 § 1, 2004; Ord. 460 § 1, 1984; Ord. 354 § 4.25.6, 1973)

**PLANNING COMMISSION
 LOT SIZE DISCUSSION
 NOVEMBER 7, 2017
 PAGE 3 OF 5**

Following are minimum lot size criteria from the Subdivision Regulations:

16.12.040 Residential subdivisions.

(a) Minimum lot area and width shall be as follows, unless a greater lot size or width is stipulated in the zoning ordinance, except where the lot size is reduced through the use of section herein. The following shall serve as the criterion for determining gross lot density requirements.

(b) Table of areas, widths and depths

Topography of Area**	Lot Size**			Grading: Following portion of the ground surface shall remain in its natural state no cut or fill**
	Min. Area	Min. Width*	Min. Depth	
Flat 0—10% Cross slope	6,000	60"	90"	0%
Hillside 10—15% Cross Slope	8,000	80"	120"	15%
Steep hillside 15—25% Cross slope	10,000	90"	130"	30%
Very steep hillside 25% Cross slope	20,000	120"	150"	60%
Rugged above 35% Cross slope	1 Acre	150"	200"	80%

Existing Lot Sizes:

Staff did not conduct an exhaustive evaluation of existing lot sizes. In a cursory review, lot sizes of newer subdivisions met the criteria of the Zoning and Subdivision Regulations. However, existing lot sizes in central King City varied widely, with most being fifty (50') feet or less in width and many being less than 6,000 square feet.

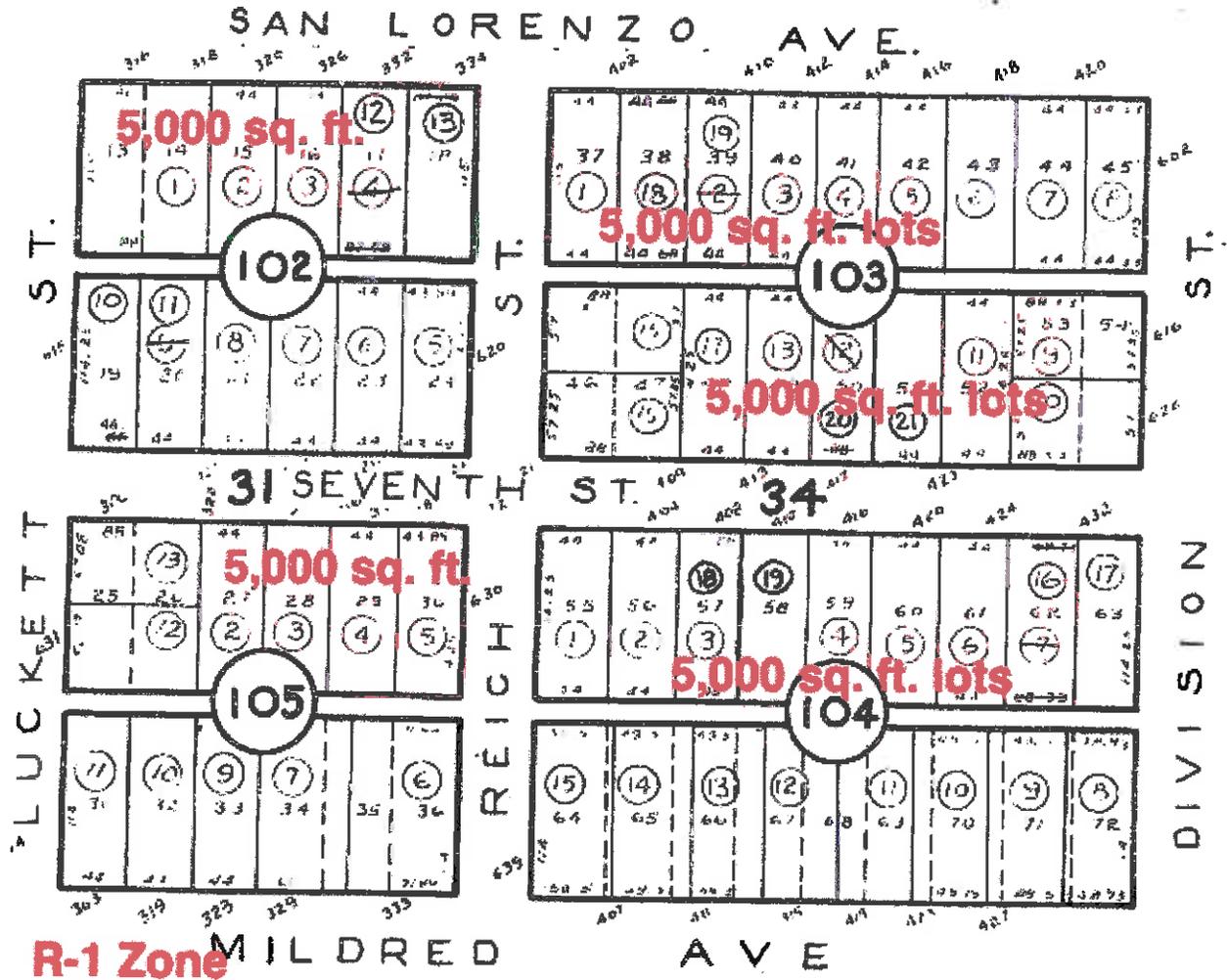
Below are two example residential blocks located north of Downtown. Note that almost all of the lots are fifty (50') feet in width. Some lots are less than 5,000 square feet in area with lots ranging from 4,750 to 9,500 square feet. Figure 1 shows examples of existing R-1 Zoned properties, Figure 2 shows examples of existing R-4 Zoned properties. These blocks are indicative of the range of lot sizes that are typical within the residential areas located north and south of Downtown.

Most existing residential blocks near the Downtown do not comply with existing Zoning or Subdivision Regulations. Some variances have been approved for lot sizes less than sixty (60') in width and less than 6,000 square feet in lot area. There appears to be a disconnect between the Zoning and Subdivision standards and the existing conditions within residential areas near the Downtown.

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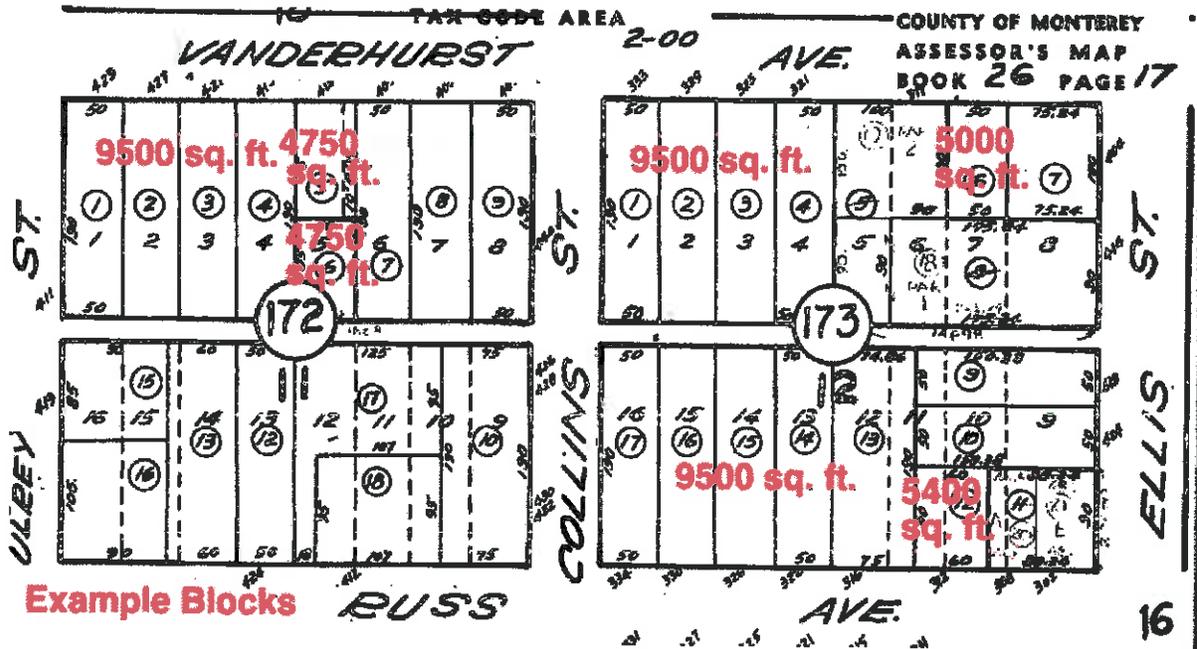
Impacts of Change to the Code: If lot size standards are reduced. There may be a resulting increase in the number of potential residential units within the developed core of the City. Additional affordable housing may also result from an amendment to the existing regulations.

Figure 1. Example Blocks Zoned R-1



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Figure 2. Example Blocks Zoned R-4



COST ANALYSIS:

If the Planning Commission decides that the Code should be amended, staff will determine a projected cost to prepare revisions to the Zoning and Subdivision Regulations.

ALTERNATIVES:

The following alternatives are provided for Planning Commission consideration:

1. Recommend to the City Council that the Zoning and Subdivision regulations be amended to allow smaller lot sizes in developed residential areas located near the Downtown; or
2. Determine that no change to the Code is recommended; or
3. Provide other direction to staff.

Submitted by: HA FOR Don Funk
 Donald J. Funk, Principal Planner

Approved by: DL FOR Doreen Liberto
 Doreen Liberto, AICP, Community Development Director