

AGENDA

REGULAR MEETING OF THE PLANNING COMMISSION

TUESDAY, JULY 18, 2017
6:00 P.M.

Council Chambers, City Hall
212 S. Vanderhurst Avenue, King City, CA

1. CALL TO ORDER

2. ROLL CALL:

Planning Commission Members: Michael Barbree, Margaret Raschella, Ralph Lee, Vice Chairperson David Mendez, and Chairperson David Nuck

3. FLAG SALUTE

4. PUBLIC COMMENTS

*Any person may comment on any item not on the agenda. **PLEASE STATE YOUR NAME AND ADDRESS FOR THE RECORD.** Action may not be taken on the topic, unless deemed an urgency matter by a majority vote of the Planning Commission. Topics not considered an urgency matter might be referred to City staff and placed on a future agenda, by a majority vote of the Planning Commission.*

5. PRESENTATIONS

None

6. CONSENT AGENDA

All matters listed under the Consent Agenda are considered routine and may be approved by one action of the Planning Commission, unless any member of the Planning Commission wishes to remove an item for separate consideration.

- A. Meeting Minutes of June 20, 2017 Planning Commission Meeting
Recommendation: approve and file.

7. NON-PUBLIC HEARINGS

None

8. PUBLIC HEARINGS

- A. Consideration: Conditional Use Permit Case No. CUP2016-003 for construction of a new small cell site within the existing public right-of-way along N. Vanderhurst Avenue.

Recommendation: Adopt Resolution No. 2017-182, which finds the project Categorical Exempt from CEQA and approves Conditional Use Permit Case No. CUP2016-003, subject to the attached Conditions of Approval.

- B. Consideration:** Conditional Use Permit Case No. CUP2016-004 for construction of a new small cell site within the existing public right-of-way along Ellis Street.
- Recommendation:** Adopt Resolution No. 2017-183, which finds the project Categoricaly Exempt from CEQA and approves Conditional Use Permit Case No. CUP2016-004, subject to the attached Conditions of Approval.
- C. Consideration:** Conditional Use Permit Case No. CUP2017-004 for construction of a new small cell site within the existing public right-of-way along Franciscan Way.
- Recommendation:** Adopt Resolution No. 2017-181, which finds the project Categoricaly Exempt from CEQA and approves Conditional Use Permit Case No. CUP2017-004, subject to the attached Conditions of Approval.
- D. Consideration:** Amendment to Conditional Use Permit Case No. CUP2016-007 to Replace the Public Information Kiosk Located on the Near Corner of Broadway Street and Canal Street with a Wind Sculpture and Directional Sign.
- Recommendation:** Review and approve changes to CUP2016-007 to provide an option to replace the kiosk with a wind sculpture and potential wayfinding sign.

9. REGULAR BUSINESS

10. PLANNING COMMISSIONER REPORTS

11. DIRECTOR'S REPORT

- a. Relocation of Greyhound Bus Stop

12. WRITTEN CORRESPONDENCE

13. ADJOURNMENT

NOTES

WRITTEN MATERIAL: Any writing or document pertaining to an open session item on this agenda which is distributed to a majority of the Planning Commission after the posting of this agenda will be available for public inspection at the time the subject writing or document is distributed. The writing or document will be available for public review in the Community Development Department, 212 S. Vanderhurst Avenue, King City, Ca, during normal business hours, and may be posted on the City's website identified above.

AGENDA ITEM SPEAKING TIME: The Planning Commission may limit persons speaking on an agenda item to three (3) minutes per item.

AMERICANS WITH DISABILITIES ACT: Any individual, who because of a disability needs special assistance to attend or participate in this meeting, may request assistance by contacting the City Clerk's Office (831) 385.3281. Whenever possible, requests should be made four (4) working days in advance of the meeting

UPCOMING REGULAR MEETINGS

<u>July 2017</u>		
July 18 th	6:00 p.m.	Planning Commission
July 25 th	6:00 p.m.	City Council (Canceled)

<u>August 2017</u>		
August 1 st	6:00 p.m.	Planning Commission
August 8 th	6:00p.m.	City Council
August 14 th	6:00p.m.	Airport Advisory Committee
August 15 th	6:00 p.m.	Planning Commission
August 21 st	6:00p.m.	Recreation Commission
August 22 nd	6:00 p.m.	City Council

ADT: Average daily trips made by vehicles or persons in a 24-hour period

ALUC: Airport Land Use Commission

AMBAG: The Association of Monterey Bay Area Governments. The AMBAG region includes Monterey, San Benito and Santa Cruz Counties, and serves as both a federally designated Metropolitan Planning Organization and Council of Government. AMBAG manages the region's transportation demand model and prepares regional housing, population and employment forecast that are utilized in a variety of regional plans.

APCD: Air Pollution Control District

BMP: Best Management Practice, Bike Master Plan

CAP: Climate Action Plan

CC&Rs: Covenants, Conditions, and Restrictions (private agreements among property owners; the City has no authority to enforce these)

CDBG: Community Development Block Grant (a federal grant program designed to benefit low and moderate income persons)

CEQA: California Environmental Quality Act

CFD: Community Facilities District

COG: A council of government, or regional council, is a public organization encompassing a multi-jurisdictional regional community. It serves the local governments by dealing with issues that cross political boundaries.

CUP: Conditional Use Permit

EIR: Environmental Impact Report

Ex-Parte: Communication between Planning Commissioners and applicants outside of a public meeting

FEMA: Federal Emergency Management Agency

GHG: Greenhouse gas

HOME: Home Investment Partnership Act (a federal program to assist housing for low and moderate income households)

HCP: Habitat Conservation Plan

HCD: State Department of Housing & Community Development

HUD: U.S. Department of Housing and Urban Development

LAFCO: Local Agency Formation Commission

LID: Low Impact Development (measures to reduce rainwater runoff impacts)

LLA: Landscaping and Lighting District

LOS: Level of Service (a measurement of traffic efficiency used by Caltrans)

MMTC: A multimodal transit center includes a combination of alternative modes of transportation so people do not have to only rely on vehicles.

MOU: Memorandum of Understanding

MND: Mitigated Negative Declaration

MPO: A metropolitan planning organization is a federally mandated and federally funded transportation policy-making organization, such as AMBAG, that is made up of representatives from local government to help implement transportation projects and projects.

Neg Dec: Negative Declaration (a CEQA statement that a project will not have a significant effect on the environment)

NEPA: National Environmental Policy Act

SOI: Sphere of Influence.

TAMC: The Transportation Agency for Monterey County develops and maintains a multimodal transportation system for Monterey County. TAMC consists of local officials from each Monterey city (12 cities) and five (5) county supervisorial districts, and ex-officio members from six (6) public agencies.

TOT: Transient Occupancy Tax

Variance: A form of relief from zoning development regulations based on physical constraints of a property that prevents development of the same type of buildings allowed on other properties within the same zone and in the same neighborhood

VMT: Vehicle Miles Traveled

Planning Commission Minutes

June 20, 2017

1. Call to Order

Chairperson Nuck called the regular meeting of the Planning Commission of the City of King to order at 6:00 p.m.

2. Pledge of Allegiance

Chairperson Nuck led the Commission and audience in the Pledge of Allegiance.

3. Roli Call

Chairperson David Nuck X Vice Chair David Mendez X
Michael Barbree X Margaret Raschella A Ralph Lee X

Commissioner Barbree made a motion to excuse Commissioner Raschella, seconded by Commissioner Mendez. Motion carried 4-0.

Staff present: Don Funk, Principal Planner; Maricruz Aguilar, Asst. Planner; Erica Sonne, Admin. Asst./Deputy City Clerk; Dixie Gould, Code Enforcement Officer

4. Public Comments

None

5. Presentations

None

6. Consent Calendar

All matters listed on the Consent Calendar are considered routine and may be approved by one action of the Planning Commission, unless any member of the Planning Commission wishes to remove an item for separate consideration.

A. Approval of Minutes: June 6, 2017

Action: Motion made by Commissioner Mendez to approve minutes of June 6, 2017. Seconded by Commissioner Lee. Motion carried 4-0.

7. Non-Public Hearing Items

- A. Consideration:** Consideration: Sign Ordinance Workshop
Recommendation: Provide input to staff.

Principal Planner Funk went over first draft of new sign regulations. He went over the business survey results where 29 people replied. He went over sign coverage of windows and different examples of signs. Principal Planner Funk went over the recommendations for changes.

Commissioner Barbree ask about the percentage of the window do we allow be covered and Planner Funk said that is what they want the Planning Commission to tell us.

Chair Nuck feels that it depends on the location in the window that the coverage is. He feels that the windows from the top down looks better than at eye level.

Commissioner Lee ask if the enforcement is happening now. Ms. Gould stated that it is difficult currently however she is trying but with changes coming again she doesn't want to give misleading information until they make a decision.

Commissioner Lee would like a specific person to help a person go through the process. Principal Planner Funk explained that the sign ordinance will not help that however the front counter can be trained to ask more questions to help that process.

Principal Planner Funk feels that having examples for people to look at of signs would be helpful. Chair Nuck would like to see people go to a professional sign company. Commissioner Lee suggested getting a list of graphic designers within a fifty-mile radius. Commissioner Barbree stated that the City could not endorse designers.

Principal Planner Funk feels that a handout with the business license showing exactly what a sign needs. Planning Commission is in consensus on that.

Commissioner Lee would like to see a certain font, color and texture for the business district so there is some uniformity.

Commission is in consensus on 25% with the flexibility of a whole window covered and others not or 25% of each window.

Garage sale signs need to be permitted on site only, not on public right of way, poles or trees.

Principal Planner Funk went over the New table in the code. Commission is fine with the New table.

After 90 days, the property owner would be responsible for removing the sign.

Real Estate Signs- Need to have a business license to do business in town.

Want to stress the importance of sign permits when applicants get a business license.

Planning Commission would like to know what Dixie needs to do her job better. She said they have gone over it.

Proposed changes in English and Spanish that Dixie could hand out and explain in the next month or so.

Provisions to broaden list of signs approved by the Director, including small murals, banners and feather signs, and Master Sign Programs for ten (10) or less tenants? Planning Commission Concurs.

- Provisions to simplify the review process by reducing list of required findings? Planning Commission concurs.

- Provisions increasing window sign area from 20% to 25%? Planning Commission concurs with 25% and have flexibility on how that 25% is achieved.

- Provisions to allow small sandwich board signs under six (6) square feet? Planning Commission concurs to allow. They do not want them allowed in the Public Right of way only on Private right away.

- Provisions to permit total signage area in excess of 100 square feet?

- Provisions to count the area of only one side of two-sided signs? Planning Commission concurs with Count the area of one side.

- Thoughts & comments regarding other changes proposed in the ordinance?

Inflatable figures and jump houses in front of business that rent them Planning Commission is not in favor of.

Animated sign that is lite from behind the Planning Commission is not in favor of and Principal Planner Funk said are not allowed under current ordinance. Dixie will follow up.

Balloon signs should be treated like pole signs and have to get a use permit. They wanted it added to the ordinance.

Address signage like what is along a theatre wall.

Feather flags Planning Commission likes allowing one with no permit and applicants have to get a permit from more than one. They also want a time limit 45 consecutive days or 180 days a year. Submit a schedule for a year of what days you will have them up.

8. Public Hearing Items-None

9. Regular Business- None

10. Planning Commission Report –

11. Director Reports- No meeting on the 4th of July but one on July 18th.

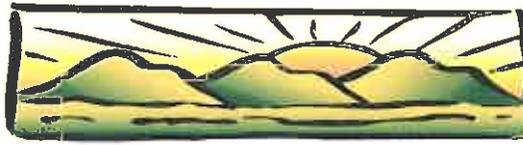
12. Written Correspondence– None

13. Adjournment

There being no further business, the Planning Commission meeting was adjourned at 7:58 p.m.

David Nuck
Planning Commission Chairperson
City of King

Erica Sonne
Planning Commission Secretary
City of King



KING CITY
C A L I F O R N I A

Item No. 8(A)

REPORT TO THE PLANNING COMMISSION

DATE: JULY 18, 2017

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: DOREEN LIBERTO, AICP, COMMUNITY DEVELOPMENT DIRECTOR

BY: MARICRUZ AGUILAR, ASSISTANT PLANNER

RE: CONSIDERATION OF CONDITIONAL USE PERMIT CASE NO. CUP2016-003 FOR CONSTRUCTION OF A NEW SMALL CELL SITE WITHIN THE EXISTING PUBLIC RIGHT-OF-WAY ALONG N. VANDERHURST AVENUE.

RECOMMENDATION:

It is recommended Planning Commission adopt the attached Resolution No. 2017-182, which finds the project Categorical Exempt from CEQA and approves Conditional Use Permit Case No. CUP2016-003, subject to the attached Conditions of Approval.

BACKGROUND:

Mobilitie, LLC is a Competitive Local Exchange Carrier ("**CLEC**") regulated by the California Public Utilities Commission and has obtained a Certificate of Public Convenience and Necessity ("**CPCN**") from the California Public Utility Commission ("**CPUC**"). Mobilitie, LLC is undergoing nationwide efforts needed to meet the demands of wireless coverage and prepare for the future wireless technology.

David Downs, Mobilitie, LLC ("**Applicant**") submitted a use permit application to construct a new small cell site which includes a thirty-two (32') feet high steel light pole with a two (2'.45") foot plus high cell antenna mounted directly on top of the light pole; the total height of the light pole with the antenna is thirty-six (36') feet. The project also includes a four (4') foot tall pedestal meter located within five (5') feet from the light pole within the public right-of-way along Franciscan Way.

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-003
JULY 18, 2017
PAGE 2 OF 17**

Location: Latitude/Longitude: 36.215359/-121.130148
Nearest Address: 404 N. Vanderhurst Avenue
Nearest Cross Streets: N. Vanderhurst Avenue and Collins Street

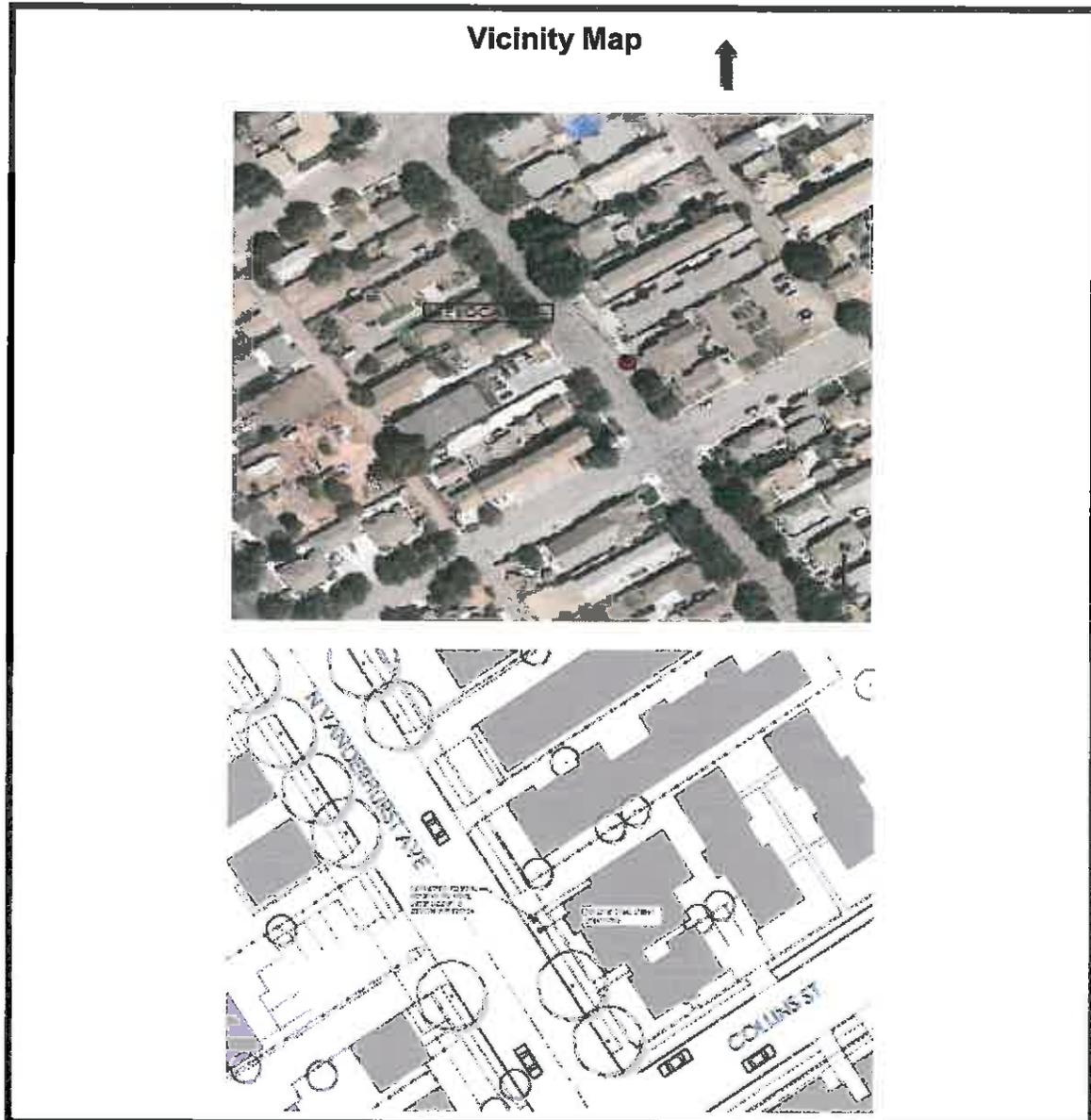
The purpose of the project is to enhance the quality of wireless coverage to the area. The new utility pole with antennas and equipment will allow for the offsetting capacity from other existing wireless facilities. The installation of these antennas is to deliver capacity and speed to dense areas. The Radio Frequency ("**RF**") Emissions Report prepared by ATG, LLC., and dated March 31, 2017 stated that the proposed exposure does not exceed the FCC's general public exposure limits and that the proposed site is compliant with FCC guidelines.

The Applicant is also proposing to install a new small cell site at two (2) other sites within the City's public right-of-way for a total of three (3) sites within the City. All three (3) sites will be using the same light standard to match the existing surrounding light poles and use a pedestal meter to lessen the visual impact of having equipment projected out of the poles.

DISCUSSION:

The Applicant requests a Conditional Use Permit ("**CUP**") for the construction of a new cell site within the public right-of-way. The project involves installing a new light pole with an OMNI Directional Antenna installed directly on top of the pole on the public street right-of-way. The associated equipment is proposed to be installed within a pedestal meter located within five (5') feet away from the pole. The total height of the pole and antenna would reach up to thirty-six (36') feet in height. The project is located on the public right-of-way on N. Vanderhurst Avenue (Latitude/Longitude: 36.215359/-121.130148).

Per the City Municipal Code §17.48.070, Exceptions to height limits, a CUP is required for poles and towers exceeding height limits. As mentioned above, the proposed pole would be a total of thirty-six (36') feet in height and the standard street light height limit is thirty-seven (37') feet per the Design Standards and Specifications of the Public Works Department.



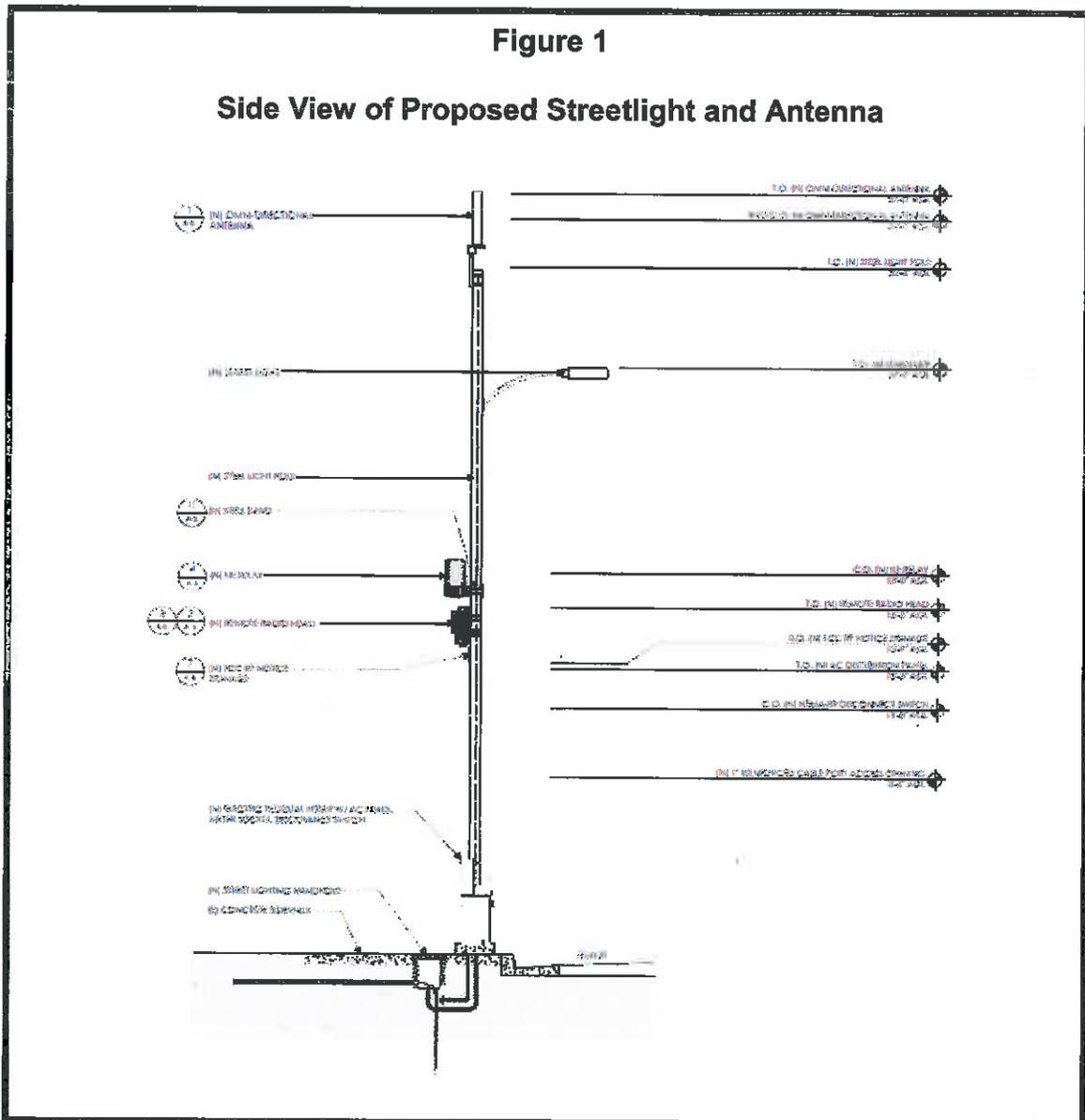
Analysis

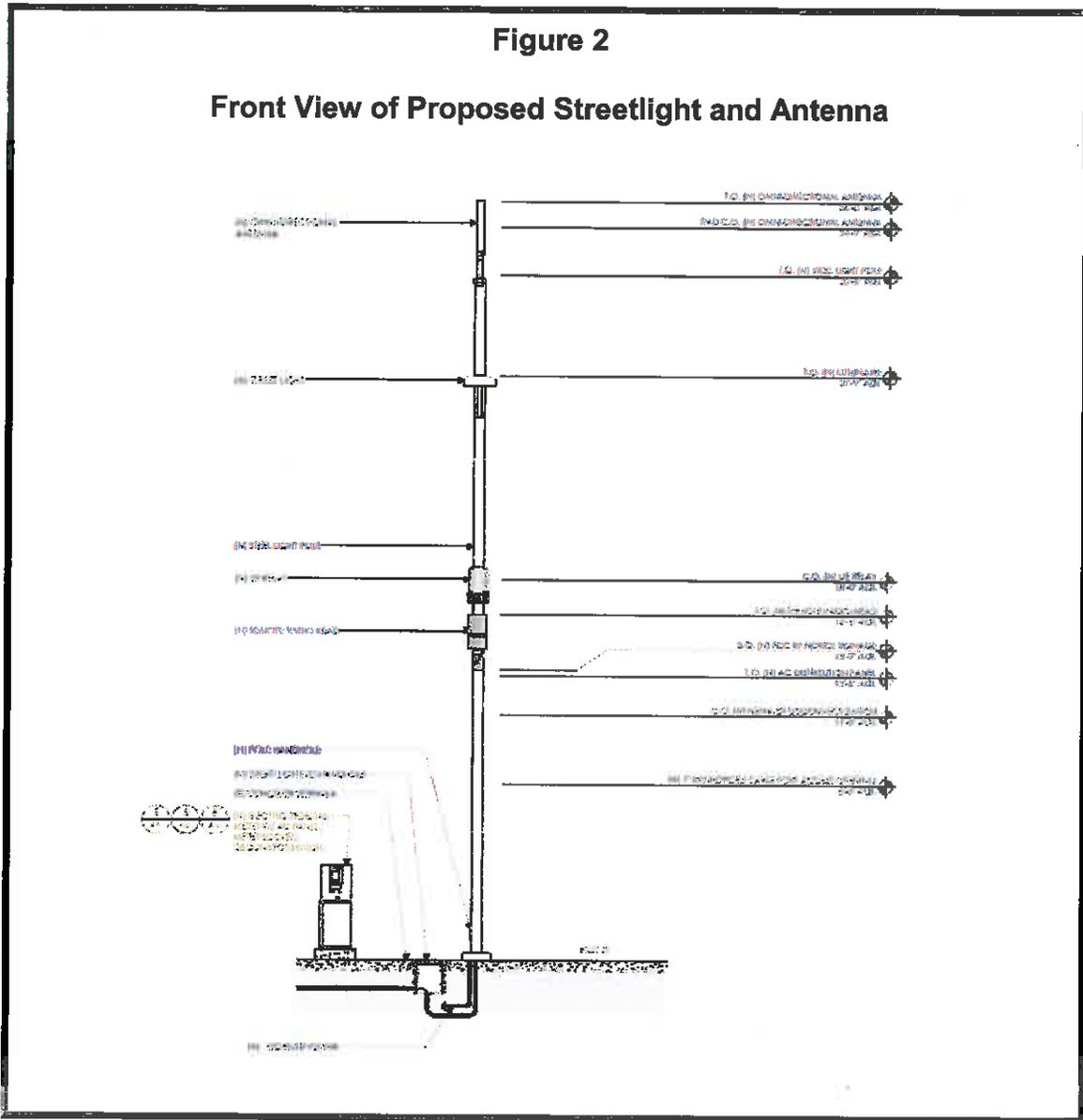
Location: The proposed site is located within the public right-of-way along
Latitude/Longitude: 36.215359/-121.130148. Nearest address is 404 N.
Vanderhurst Avenue. Nearest Cross Streets: N. Vanderhurst Avenue and Collins
Street. The Project Review Committee ("**PRC**") has reviewed and provided the
following recommendations:

**PLANNING COMMISSION
 CONSIDERATION OF CUP2016-003
 JULY 18, 2017
 PAGE 4 OF 17**

Height & Material

The Applicant is proposing to match the City's streetlight standard. The City's streetlight standard as shown in the Standard Detail #49 of the Design Standards & Standard Specifications is an embedded steel pole thirty-seven (37') feet tall with an eight (8') foot arm length pole with a street lamp. The Applicant will be installing a thirty-six (36') foot tall steel pole with an eight (8') foot arm length pole with a street lamp. The antenna to be installed directly mounted on top of the pole. The pedestal meter is proposed to be within five feet away from the pole and four (4') feet (48" inches in height x 16" inches in width) as shown on Figure 1 and 2.





Maintenance

The Applicant will be responsible for maintenance of the pole, antenna, equipment, and streetlight on the public right-of-way and provide the Public Works Department with a contact person to inform of any needed maintenance. The pole would be owned and operated by Mobilitie, LLC. The City would like to have the option of having a security camera and signage installed, if needed, as part of the citywide security camera system. The City would be responsible in maintaining the security camera but would need access to the pole, if needed. **(Reference COA No. 13).**

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-003
JULY 18, 2017
PAGE 6 OF 17**

Traffic

The Applicant only anticipates traffic being impacted during the construction phase. The construction phase is estimated to last three (3) days from 9AM – 3PM. The applicant will assure proper traffic control measures are taken. The Applicant will need to submit an Encroachment Permit prior to the installation of the light pole. (**Reference COA No. 11**).

Advantages

The project would enhance the quality of communications for residents and commuters in the surrounding area. The project will help meet the growing demand for high-speed data.

Disadvantages

The Applicant has amended the project to lessen the visual impact by using a street light standard for the pole and using a pedestal meter for the equipment rather than installing the equipment onto the pole. No disadvantages are known at this time.

Public Notification and Input

A Public Hearing Notice was published in the South County Newspaper *The Rustler* on July 5, 2017 and all property owners of record within three hundred (300') feet radius of the subject site were notified of the public hearing and invited to voice any concerns on this application. As of the date of the preparation of this staff report no written testimony has been received by the City. A public hearing will be conducted on July 18, 2017.

COST ANALYSIS:

Development Review Projects are based on times and materials. The Applicant has submitted a minimum fee per City Fee Schedule and the Applicant is responsible in payment of processing the CUP. Any additional permits required such as a building permit or encroachment permit will be subject to applicable fees.

ENVIRONMENTAL REVIEW:

The project is located within the right-of-way along N. Vanderhurst Avenue. The table below identifies the surrounding land use and zoning districts.

Table 1 Adjacent Zoning/Land Use			
North:	Multiple Family Residential (R-4) Zoning District High Density Residential (HDR) Land Use Designation	East:	Multiple Family Residential (R-4) Zoning District High Density Residential (HDR) Land Use Designation
West:	Multiple Family Residential (R-4) Zoning District High Density Residential (HDR) Land Use Designation	South:	Multiple Family Residential (R-4) Zoning District High Density Residential (HDR) Land Use Designation

The project is consistent with the City's General Plan per Objective 7.1, Program 7.1.1.2 The City shall work with utility providers to identify future utility expansion needs, obtain easements from property owners to extend private utilities, and promote cooperation between utility providers and property owners for the purpose of acquiring easements or rights-of-way for utility expansions. Also, per Program 7.1.1.3, through the design review process, condition new public and quasi-public service facilities to be visually compatible with the City's desired character and surrounding land uses. Also, per Program 7.1.1.3, through the design review process, condition new public and quasi-public service facilities to be visually compatible with the City's desired character and surrounding land uses. The Applicant has modified the project to mitigate any visual impacts within the residential areas as required per Residential Land Use Goal 2.2 Policy 2.2.1, The City shall discourage new land use activities within and in close proximity to residential areas that generate undesirable impacts that cannot be mitigated. The Applicant is proposing a streetlight standard to match the City's standards to mitigate visual impacts.

The project as proposed will be installed on the City's public right-of-way and will be built to be visually compatible to the surrounding area by following the design of the City's streetlights. The pole will be a standard street light design and the antenna and equipment will be painted to match the pole and lessen any visual impact to pedestrians. A condition has been placed for an encroachment permit from the Public Works Department and to enter into a maintenance agreement with the City for the use of adding security cameras and signage.

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-003
JULY 18, 2017
PAGE 8 OF 17**

The project is not anticipated to create any negative impacts to the surrounding land uses. The project as proposed meets the Federal Communications Commission ("**FCC**") for radio frequency ("**RF**") emissions as described in the compliance report dated March 31, 2017 prepared by ATG, LLC., to be less than one percent (1%) of controlled exposure limits as allowed by FCC at six (6') feet above ground level. This is in compliant with FCC guidelines.

The project is Categorically Exempt pursuant to CEQA per Section 15303 New Construction or Conversion of Small Structures Class 3 (b).

PROJECT REVIEW COMMITTEE COMMENTS AND REVIEW AND REVIEW BY AGENCIES:

A representative from each City Department meets to discuss most community development projects. This group operates as the City's staff advisory team, which is referred to as the Project Review Committee ("**PRC**"). PRC provides comments to the Applicants and conditions of approval ("**COA**") before a project goes to the Planning Commission. No major issues regarding the project arose during the meeting of the PRC. Comments from PRC are incorporated throughout the staff report and their recommendations are incorporated in the attached COA. Comments in this Staff Report reflect comments made by City Staff.

ALTERNATIVES:

The following alternatives are provided for Planning Commission consideration:

1. Adopt Resolution No. 2017-182, which approves CUP2016-003 subject to Conditions of Approval and finds the project Categorically Exempt from CEQA;
2. Make recommendations for modification as deemed appropriate by the Planning Commission; or
3. Provide other direction to staff.

Exhibits:

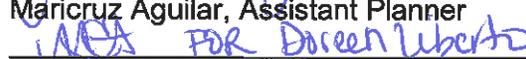
1. Findings of Fact
2. Conditions of Approval
3. Resolution No. 2017-182
4. Project Plans and Project Description
5. Radio Frequency Site Compliance Report dated March 31, 2017 by ATG, LLC.

Submitted by:



Maricruz Aguilar, Assistant Planner

Approved by:



Doreen Liberto, AICP, Community Development Director

EXHIBIT 1

CUP Case No. 2016-003

FINDINGS OF FACTS

The purpose for making Findings of Facts to *"bridge the analytical gap between the raw evidence and ultimate decision"*. The Municipal Code gives the Planning Commission ("**Commission**") the authority to approve a project so long as the Commission can make certain findings. Written "findings of fact" are required in order to support the decision of the hearing body to approve or deny a project.

Conditional Use Permit (CUP) Findings of Fact

- a. The proposed project is consistent with the requirements and policies of the City of King General Plan Residential Land Use designation and Zoning Ordinance R-4 High Density Residential District. The project will provide additional wireless capacity to meet the needs of the area in addition it will be a new streetlight.
- b. The proposed will not impact parking requirements and the pole is meeting the requirements of the streetlight standards. The height limits will be at a total of thirty-six (36') foot high which does not substantially degrade the views from the public right-of-way and meets the City standards for light poles.
- b. The general appearance of the proposed new small cell site is in keeping with the character of the City's standard street light poles and coordinate with its surrounding properties.
- c. The Applicant submitted a Radio Frequency Emissions Compliance Report dated **March 31, 2017** prepared by ATG, LLC., which states that the proposed will not affect site compliance with the FCC rules and regulations. **Exhibit 5**.
- c. The COA as shown on **Exhibit 2** are necessary to protect the health, safety and general welfare of the community, to ensure that the City develops in an orderly manner, and to ensure that the Project operates in a manner that does not adversely affect the surrounding areas. The proposed use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.

California Environmental Quality Act (CEQA) Findings of Fact

The project is a Class 3 Categorical Exemption (CEQA Guidelines §15303, Class 3). The project consists of the construction of a new small cell facility on the City's public right-of-way.

EXHIBIT 2

RESOLUTION NO. 2017-182

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF KING,
APPROVING CONDITIONAL USE PERMIT CASE NO. CUP2016-003,
FOR MOBILITIE, LLC TO CONSTRUCT A NEW SMALL CELL SITE ON THE
PUBLIC RIGHT-OF-WAY ALONG N. VANDERHURST AVENUE, KING CITY,
CALIFORNIA (LATITUDE/LONGITUDE: 36.215359, -121.130148)

WHEREAS, On June 21, 2016, David Downs on behalf of Mobilitie, LLC, filed application an application for Case No. CUP2016-003 for the construction of a new small cell site that was placed on hold due to clarification on public right-of-way status; and

WHEREAS, On January 4, 2017, a Letter of Incompleteness was sent to the Applicant; and

WHEREAS, On April 7, 2017, the Applicant reinstated the application and submitted revisions to the site plan and project description; and

WHEREAS, On April 17, 2017, the Application was deemed complete; and

WHEREAS, the proposed includes installing a 32'6" feet high streetlight pole with a 2'.45" feet tall OMNI Directional Antenna mounted on top of the pole for a total height of thirty-six (36') feet. The project will also include placement of a four (4') foot pedestal meter located within five (5') feet of the proposed light pole, located on the public right-of-way along N. Vanderhurst Avenue Latitude/Longitude: 36.215359, -121.130148;

WHEREAS, a Radio Frequency Emissions Compliance Report, prepared by ATG, LLC., dated March 31, 2017 indicated that the proposed would not affect site compliance with the FCC Rules and Regulations; and

WHEREAS, the project is a Class 3 Categorical Exemption of CEQA consisting of installing a new small cell site on the public right-of-way; and

WHEREAS, on July 5, 2017, a notice was published in the South County Newspaper *The Rustler* and mailed notices to property owners of record within 300ft radius of the project site;

WHEREAS, on July 18, 2017, the Planning Commission ("**Commission**") held the public hearing for the project;

WHEREAS, the Commission has reviewed and considered the information provided in the Staff Report and testimony presented during the

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-003
JULY 18, 2017
PAGE 11 OF 17**

public hearing, and accepts the **Findings of Fact** as outlined in **Exhibit 1**, and the Applicant's submittals as shown in **Exhibit 4**;

WHEREAS, the Commission of the City of King, California, met at the duly noticed public hearing on **July 18, 2017**, at which time all interested persons were given the opportunity to be heard; and

WHEREAS, the Commission makes the followings Findings of Facts:

Conditional Use Permit (CUP) Findings of Fact

- a. The proposed project is consistent with the requirements and policies of the City of King General Plan Residential Land Use designation and Zoning Ordinance R-4 High Density Residential District. The project will provide additional wireless capacity to meet the needs of the area in addition it will be a new streetlight.
- b. The proposed will not impact parking requirements and the pole is meeting the requirements of the streetlight standards. The height limits will be at a total of thirty-six (36') feet high which does not substantially degrade the views from the public right-of-way and meets the City standards for light poles.
- c. The general appearance of the proposed new small cell site is in keeping with the character of the City's standard street light poles and coordinate with its surrounding properties.
- d. The Applicant submitted a Radio Frequency Emissions Compliance Report dated **March 31, 2017** prepared by ATG, LLC., which states that the proposed will not affect site compliance with the FCC rules and regulations. **Exhibit 5**.
- e. The COA as shown on **Exhibit 2** are necessary to protect the health, safety and general welfare of the community, to ensure that the City develops in an orderly manner, and to ensure that the Project operates in a manner that does not adversely affect the surrounding areas. The proposed use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.

California Environmental Quality Act (CEQA) Findings of Fact

The project is a Class 3 Categorical Exemption (CEQA Guidelines §15303, Class 3). The project consists of the construction of a new small cell facility on the City's public right-of-way.

NOW, THEREFORE, BE IT HEREBY RESOLVED that the Planning Commission of the City of King approves Conditional Use Permit Case CUP2016-003 for the installation of a new small cell site on the public right-of-way along N. Vanderhurst Avenue (Latitude/Longitude: 36.215359, -121.130148)

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-003
JULY 18, 2017
PAGE 12 OF 17**

with the Conditions of Approval (**Exhibit 2**) and the project submittals (**Exhibit 4**) as presented.

This resolution was passed and adopted this 18th day of July, 2017, by the following vote:

AYES:

NAYS:

ABSENT:

ABSTAIN:

DAVID NUCK, CHAIRPERSON

ATTEST: _____
ERICA SONNE, SECRETARY TO THE PLANNING COMMISSION

EXHIBIT 3

CONDITIONS OF APPROVAL
PROJECT CASE NUMBER CUP2016-003

Community Development Department (The Applicant should discuss the following conditions of approval ("**COA**") with Maricruz Aguilar-Navarro, 831-386-5916, if there are any questions):

1. **Project Description:** Conditional Use Permit Case No. CUP2016-003 is a request to construct a new small cell site on the public right-of-way consisting of a new 32'.6" feet high streetlight pole with a two (2'.45") OMNI Directional Antenna for a total of 36' feet in height and a four (4') pedestal meter located five (5') feet away from the streetlight pole along the right-of-way of N. Vanderhurst Avenue (Latitude/Longitude: 36.215359, -121.130148 and shall be constructed in accordance with **Exhibit 4**, as approved by the Planning Commission on **July 18, 2017**.
2. **Approval Period:** The approval period for this permit shall be in accordance with the approved drawings and sketches and shall be null and void if not used within one (1) year from the date of the approval. Then the approval shall immediately expire and any building permit issued in reliance thereon shall be deemed cancelled and revoked. Municipal Code Section 17.64.030 prohibits any time extensions of the CUP beyond one year from the date of approval. No extension shall be permitted for the CUP as required by Municipal Code Section 17.64.030.
3. **Hold Harmless Clause:** Hold Harmless and Indemnification Clause: The Applicant agrees, as part of and in connection with each and all the applications and approvals, to defend, indemnify, and hold harmless the City of King ("**City**") and its elected officials, officers, contractors, consultants (including Earth Design, Inc., Hanna & Brunetti, Aleshire & Wynder, attorneys), employees and agents (including Earth Design, Inc., and Hanna & Brunetti) from any and all claim(s), action(s), or proceeding(s) (collectively referred to as "proceeding") brought against City or its officers, contractors, consultants, attorneys, employees, or agents (including Earth Design, Inc., Aleshire & Wynder, attorneys, and Hanna & Brunetti) to challenge, attack, set aside, void, or annul:

Any approvals issued in connection with all approvals, actions and applications by City covered by the conditions of approval and/or mitigation measures; and/or

Any action and approvals taken to provide related environmental clearance under the California Environmental Quality Act of 1970, as amended ("**CEQA**") by City's advisory agencies, boards or commissions; appeals boards or commissions; Planning Commission, or City Council. The

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-003
JULY 18, 2017
PAGE 14 OF 17**

Applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by City, if any, and costs of suit, claim or litigation, including without limitation attorneys' fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the Applicant, *City, and/or parties initiating or involved in such proceeding.*

The Applicant agrees to indemnify City and its elected officials, officers, contractors, consultants, attorneys, employees and agents (including Earth Design, Inc., Hanna & Brunetti, Aleshire & Wynder, attorneys) for all of City's costs, fees, and damages incurred in enforcing the **indemnification** provisions of this Agreement.

The Applicant agrees to defend, indemnify and **hold harmless** City, its elected officials, officers, contractors, consultants (including Earth Design, Inc., Hanna & Brunetti, Aleshire & Wynder, attorneys), attorneys, employees and agents (including Earth Design, Inc., and Hanna & Brunetti) from and for all costs and fees incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending, any document (including, but not limited to, an environmental impact report, sphere of influence amendment, annexation, pre-zoning, general plan amendment, specific plan, vesting tentative tracts, sign applications, variances, conditional use permits, architectural review, etc.), if made necessary by said proceeding, and if the Applicant desires to pursue such City approvals and/or clearances, after initiation of the proceeding and that are conditioned on the approval of these documents.

In the event that the Applicant is required to defend City in connection with such proceeding, City shall have and retain the right to approve:

The counsel to so defend City.

All significant decisions concerning the manner in which the defense is conducted; and

Any and all settlements.

City shall also have and retain the right to not participate in the defense, except that City agrees to reasonably cooperate with the Applicant in the defense of the proceeding. If the City chooses to have counsel of its own defend any proceeding where the Applicant has already retained counsel to defend City in such matters, the fees and expenses of the additional counsel selected by City shall be paid by City. Notwithstanding the immediately preceding sentence, if City's Attorney's Office participates in the defense, any and all City Attorney, Staff and consultants' fees and costs shall be paid by the Applicant. In addition, in the event of litigation, the Applicant shall pay any and all City Staff and consultants' fees and costs.

The Applicant's defense and indemnification of City set forth herein shall

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-003
JULY 18, 2017
PAGE 15 OF 17**

remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgments rendered in the proceeding.

4. **Other County, State and Federal Permits:** Before initiation of the proposed use, the Applicant shall provide copies of any required County, State and Federal permits or written verification of a waiver of permit requirement.
5. **Structural Changes:** Installation shall be in substantial conformance with the plans, conditions of approval presented to and approved by the Planning Commission in connection with the project. No conditions, colors, materials or architectural features shall be eliminated, added or modified without Commission review and action, amended CUP, as applicable.

City of King Building and Safety Department (The Applicant should discuss the building permit submittal process with Paul Hodges, Chief Building Official Building and Safety Department at (831) 386-5915.)

6. **Building Plans:** All COA shall be imprinted on plans submitted for building permits. Building plans shall comply with the current Title 24 California Building Standards Codes.
7. **Electrical Permit:** As part of the building permit submittal, the Applicant shall submit for an Electrical Permit required for new electrical pedestal and associated electrical circuit.
8. **Address Assignment:** As part of the building permit submittal, Applicant to submit for an Address Assignment for the pedestal meter.
9. **Lighting:** Standard streetlight lamp shall be provided. As part of the building permit submittal, the lighting standard shall be submitted for review and approval by the Building Department and Public Works Department. Where appropriate, light-emitting diode ("**LED**") lighting should be used for external lighting to reduce the site's electricity consumption.
10. **Business License:** Before issuance of a building permit, a business license shall be obtained for every person conducting or carrying on the business of general contractor or contractor constructing, altering, repairing, wrecking or salvaging buildings, highways, roads, railroads, excavations or other structures, projects, developments or improvements.

Every person conducting or carrying on the business of electrical, plumbing or painting subcontractor.

Every person conducting or carrying on the business of masonry, glazier, cement, floor, heating, plastering, roofing, sash, sheet metal, tile, lathing and any other subcontractor not specifically mentioned in this Title 5 of the Municipal Code.

Every person conducting or carrying on the business of house moving,

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-003
JULY 18, 2017
PAGE 16 OF 17**

grading, paving, wrecking, sewer construction, pipeline construction, trenching, or excavating.

Public Works Department (The Applicant should contact Sal Morales, Public Works Superintendent at 831-386-5919 or Octavio Hurtado, Hanna & Brunetti 408-842-2173, ohurtado@hannabrunetti.com, regarding the following COA, if there are any questions.)

11. **Encroachment Permit:** Before starting construction of small cell site, the Applicant shall be required to obtain a City of King encroachment permit for all work in City right of way (e.g., sidewalk, curb, gutter, driveway, roadway, alley).
12. **ADA Walkway Access:** Prior to issuance of an encroachment permit, the Applicant shall verify that the placement of the pole and meter shall not impede ADA walkway access, for the review and approval of the City Engineer.

Miscellaneous Conditions:

13. **Maintenance Plan and Permission to Use Site:** Before issuance of a building permit, the Applicant shall provide and comply with a Maintenance Plan that satisfies both the Public Works and Building Department's requirements. At all times Mobilitie shall have permission to use the City's right of way for the proposed use. Permission for the purposes of this entitlement will be presumed in the absence of a written agreement or resolution by complying with the following: i) Mobilitie shall provide access to, and use of, the streetlight pole to the City, if/when the City should decide to install a security equipment; ii) The City will coordinate with Mobilitie regarding the installation of a security equipment, and Mobilitie shall provide full access to the proposed streetlight pole for both installation and on-going maintenance of any security equipment that the City may desire to install at no cost to the City; iii) Mobilitie will also allow installation of any signage on the proposed pole that the City may desire to install for either security, safety, or maintenance purposes; iv) Mobilitie will promptly repair or pay, at the option of the City, for any damage caused by Mobilitie to any of the City equipment, signage or murals; and v) Mobilitie shall allow for any City-approved group or person to paint mural(s) on the proposed meter-pedestals, as long as those murals do not conflict with any PG&E operations. Any/all murals painted on metered pedestals shall be in conformance with Municipal Code 17.55, as may be amended.
14. **Onsite Personnel:** Access to the tower shall be restricted to communication industry professionals, and approved contractor personnel trained in radio-frequency safety.
15. **Future Communication Interferences with County of Monterey Safety Communications System:** Prior to issuance of a building permit, the

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-003
JULY 18, 2017
PAGE 17 OF 17**

Applicant to obtain clearance with the County of Monterey Telecommunications Department that the additional antennas will not interfere with the safety communications system. Any future site radio frequency interferences from the cell site affecting the safety communication systems shall be corrected immediately. If it is not corrected immediately, the CUP will be treated as out of compliance with the COA.

16. **Height of Antennas:** New or replacement of antennas that because of technological requirements result in projecting above the existing size as approved shall be reviewed separately and no other carrier shall add/replace antennas or equipment that result in projecting above the existing height of the monopole without further review for code compliance.

Conditional Use Permit Condition Agreement

The Conditional Use Permit are **not** valid until all Conditions of Approval ("**COA**") imposed by the Planning Commission are signed for and agreed to by the Applicant.

I have received a copy of the Conditional Use Permit Conditions of Approval and agree with them. I understand that if I do not abide by them the Planning Commission has the authority to revoke my conditional use permit, pursuant to the Municipal Code. (Reference Municipal Code §17.64.040.).

Applicant Signature: _____ Date: _____

EXHIBIT 4

Photo Simulation Proposal

Site ID/Candidate ID: 9CAB008753 / SF90XS018A

Date: 06/27/17

Installation Category: Small Cell

Pole Type: New Steel Pole

Site Description: Existing Right of Way

Location: 404 N Vanderhurst Ave,

Simulated Views: 2

King City, CA 93930



Simulation Viewing Locations   Lat/Long: 36.215359/-121.130148



Sample Proposed Configuration

Photo Simulation Proposal

This photographic simulation is intended as a visual guide only. It is not to be used for construction purposes, and should be used for esthetic consideration for the proposed installation.

Site ID: 9CAB008753

Candidate ID: SF90XS018A

Pole Type: New Steel Pole

Location: 404 N Vanderhurst Ave,
King City, CA 93930



Date: 06/27/17

Page: 2 of 2

mobilitie

Intelligent Infrastructure

2955 Redhill Ave, Costa Mesa CA 92626
(714) 540-1857

CP 2016-003

Photo Simulation Proposal

This photographic simulation is intended as a visual guide only. It is not to be used for construction purposes, and should be used for aesthetic consideration for the proposed installation.

Site ID: 9CAB008753

Candidate ID: SF90X\$018A

Pole Type: New Steel Pole

Location: 404 N Vanderhurst Ave,
King City, CA 93930



Date: 06/27/17

Page: 3 of 2

Photo Simulation Proposal

This photographic simulation is intended as a visual guide only. It is not to be used for construction purposes, and should be used for aesthetic consideration for the proposed installation.

Site ID: 9CAB008753
Candidate ID: SF90XS018A

Pole Type: New Steel Pole
Location: 404 N Vanderhurst Ave,
King City, CA 93930

mobilitie

intelligent infrastructure

2955 Redhill Ave, Costa Mesa CA 92626
(714) 540-1857

WP 2016-003

EXHIBIT 4

RECEIVED
 JUL - 3 2017
 CITY OF KING



SITE ID-CANDIDATE LETTER/CASCADE ID-CANDIDATE LETTER:

9CAB008753/SF90XS018A

LATITUDE/LONGITUDE:

36.215359/-121.130148

CROSS STREET:

N Vanderhurst Ave and Collins St

CITY, STATE, ZIP:

404 N Vanderhurst Ave, King City, CA 93930



GENERAL NOTES

THE ELECTRICITY IS UNARMED, AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DESIGN OR STABILITY SERVICE. PORTABLE WATER OR PROPOSED IS REQUIRED AND NO COMMERCIAL SPARGERS

SITE INFORMATION

SITE ID	9CAB008753
CASCADE ID	9908010A
LATITUDE	36.215359
LONGITUDE	-121.130148
CROSS STREET	N VANDERHURST AVE AND COLLINS ST
CITY STATE ZIP	KING CITY CA 93930
COUNTY	MONTEREY
JURISDICTION	CITY OF KING CITY
PROPERTY OWNER	PUBLIC RIGHT-OF-WAY
APPLICANT	LABRET INC 28555 HILL AVENUE SUITE 200 COSTA MESA, CA 92626

ENGINEER

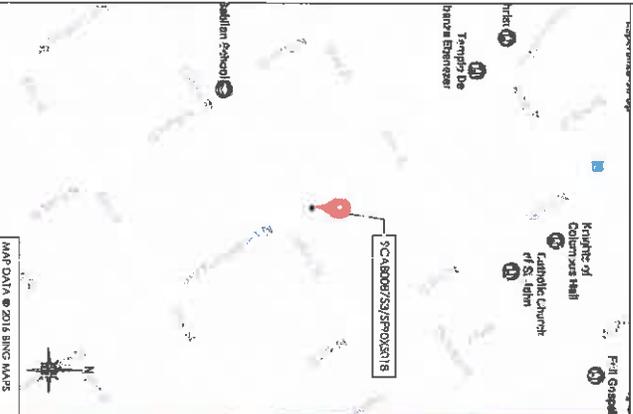
MOBILITY MANAGEMENT LLC
 2855 HILL AVENUE SUITE 200
 COSTA MESA, CA 92626
 TEL: (714) 996-6924
 EMAIL: info@mobilitymanagement.com

DO NOT SCALE DRAWINGS

CONTRACTORS SHALL VERIFY ALL PLANS, DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

LOCATION MAPS

VICINITY MAP



SITE PHOTO



PROJECT DESCRIPTION

END USER PROPOSES TO INSTALL ANTENNA FACILITY ON A NEW STEEL POLE WITHIN AN EXISTING RIGHT-OF-WAY. THE SCOPE WILL CONSIST OF THE FOLLOWING:
 - INSTALL PROPOSED SMALL SCALE WIRELESS EQUIPMENT ON A NEW STEEL LIGHT POLE
 - INSTALL WIRELESS FEDERAL

CODES

INTERNATIONAL BUILDING CODE
 NATIONAL ELECTRICAL CODE
 CALIFORNIA ELECTRICAL CODE
 LOCAL BUILDING/PLANNING CODE
 GENERAL ORDINANCE 93

DRAWING INDEX

SHEET NO.	TITLE SHEET	SHEET TITLE
A-1	OVERALL SITE PLAN	
A-2	EXHIBIT PHOTOS & ENLARGED SITE PLAN	
A-3	POLE ELEVATIONS	
A-4	PLUMBING & RISER DIAGRAM	
A-5	EQUIPMENT DETAILS	
E-1	ELECTRICAL DETAILS	
E-2	ELECTRICAL PLAN	
G-1	GENERAL NOTES	
G-2	GENERAL NOTES	
G-3	GENERAL NOTES	
TC-1	TRAFFIC CONTROL PLAN	

CP 2016-003

CP 2016-003

mobilitie
 intelligent infrastructure
 MOBILITE, INC.
 2855 HILL AVENUE, SUITE 200
 COSTA MESA, CA 92626

MM
 Mobility Management LLC
 90 VASA, CA 94771
 TEL: (925) 259-1100
 www.mobilitymanagement.com

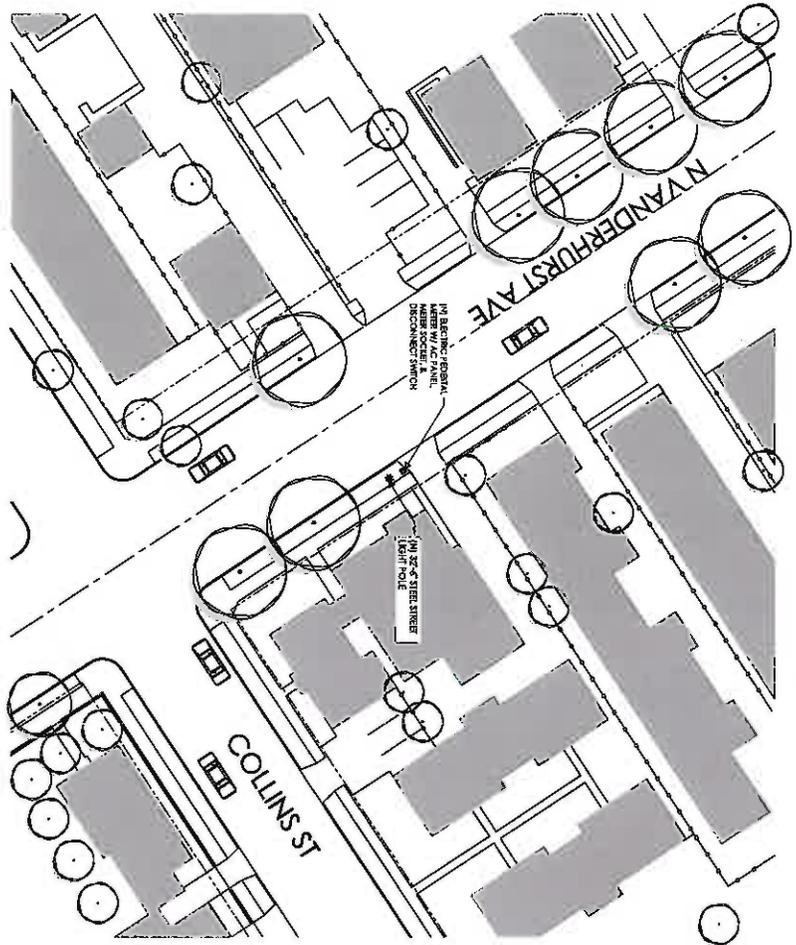
PROJECT NO.	9CAB008753
DRAWN BY:	JGCLD/PLS
CHECKED BY:	B.BARRIS
DATE	11/29/17
SCALE	AS SHOWN
REVISIONS	

9CAB008753
 SF90XS018A
 404 N Vanderhurst Ave,
 King City, CA 93930
 Utility Light Pole

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

NOTE:
THE SITE PLAN WAS GENERATED WITHOUT THE USE OF A SURVEY. PROPERTY
LINE, RIGHT-OF-WAY, POWER & TELECOM UTILITY POINT CONNECTIONS/ROUTES
AND DIMENSIONS SHOWN ON THIS PLAN ARE ESTIMATED. ALL DIMENSIONS
AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
UNDEGROUND UTILITIES, MORE
THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, STRUCTURES,
OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A RECORD DRAWING
AND VISUAL SURVEY. THE LOCATION AND EXISTENCE OF ANY UNDERGROUND
UTILITIES SHOULD BE VERIFIED IN THE FIELD. MEASURING TO PRETECT THE UTILITIES SHOWN AND ANY OTHER DIMS NOT
SHOWN ON THIS PLAN.



RECEIVED
JUL - 3 2017

OFFICE OF PLANNING



CUP 2016-003

CUP 2016-003

 <p>MOBILITE, INC. 2855 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>		 <p>Mobility Management, LLC 100 VASA, CA 94047 www.mobilitymanagement.com</p>		<p>PROJECT NO.: SCAL00285 DRAWING BY: JGOLDRUS CHECKED BY: REARNS</p>		<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>08/01/17</td> <td>FOR CD REVISION RESPONSE</td> </tr> <tr> <td>2</td> <td>08/01/17</td> <td>FOR CD REVISION RESPONSE</td> </tr> <tr> <td>3</td> <td>08/01/17</td> <td>FOR CD REVISION RESPONSE</td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	1	08/01/17	FOR CD REVISION RESPONSE	2	08/01/17	FOR CD REVISION RESPONSE	3	08/01/17	FOR CD REVISION RESPONSE	<p>IF A MODIFICATION TO THIS PLAN IS REQUIRED, THE CLIENT SHALL APPROVE THE MODIFICATION AND SIGN THE REVISION. A REVISION TO THIS PLAN SHALL BE MADE TO THE PLAN. THIS DOCUMENT IS THE PROPERTY OF MOBILITE, INC.</p>		<p>SITE NAME 9CAB008753 SF90XS018A 404 N Vanderkurst Ave, King City, CA 93930 Utility Light Pole</p>		<p>SHEET TITLE OVERALL SITE PLAN</p>		<p>SHEET NUMBER A-1</p>	
NO.	DATE	DESCRIPTION																									
1	08/01/17	FOR CD REVISION RESPONSE																									
2	08/01/17	FOR CD REVISION RESPONSE																									
3	08/01/17	FOR CD REVISION RESPONSE																									



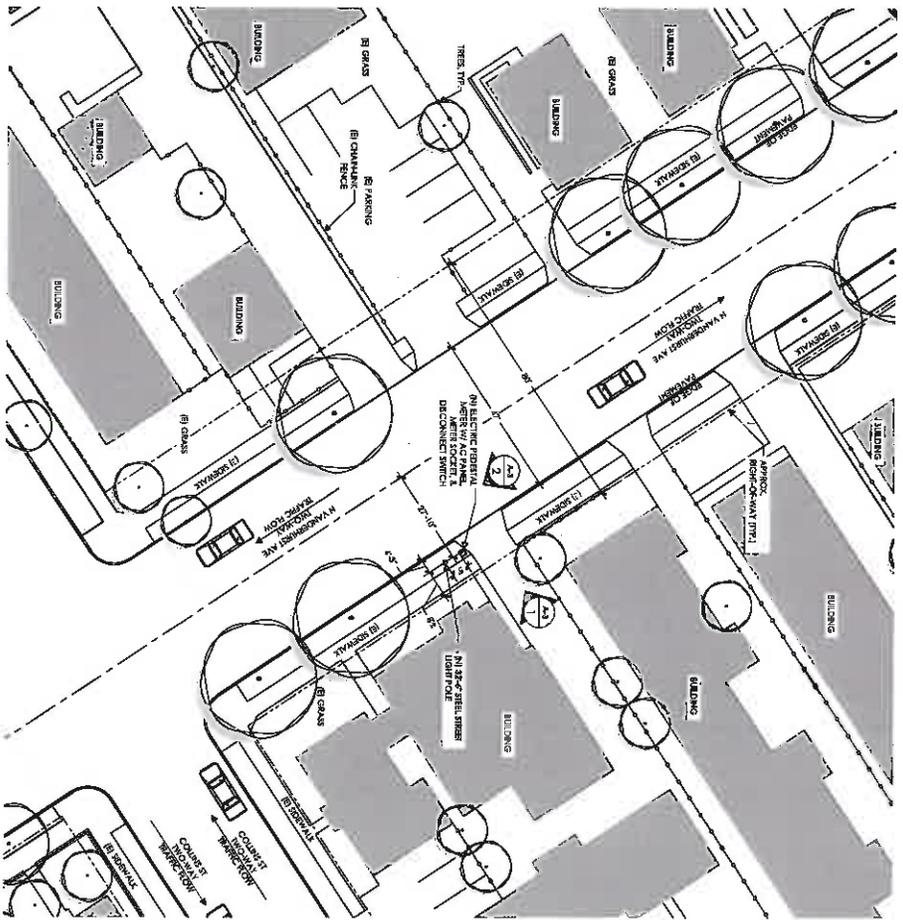
EXHIBIT PHOTO

SCALE
1
1/8" = 1'-0"



AERIAL SITE LOCATION

SCALE
2
1/8" = 1'-0"



ENLARGED SITE PLAN

SCALE
3
1/8" = 1'-0"

NOTE:
THIS PLAN WAS GENERATED WITHOUT THE USE OF A SURVEY. PROPERTY LINES AND DIMENSIONS SHOWN ON THESE PLANS ARE ESTIMATED. ALL TIES AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.

DISCLAIMER:
THESE PLANS AND THE INFORMATION CONTAINED HEREIN ARE FOR INFORMATIONAL PURPOSES ONLY. THE CITY OF KING MAKES NO WARRANTY, REPRESENTATION OR GUARANTEE AS TO THE ACCURACY, COMPLETENESS, OR RELIABILITY OF THE INFORMATION CONTAINED HEREIN. THE CITY OF KING SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CITY OF KING SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE PLANS.

RECEIVED
JUL - 3 2017

CR 2016-003

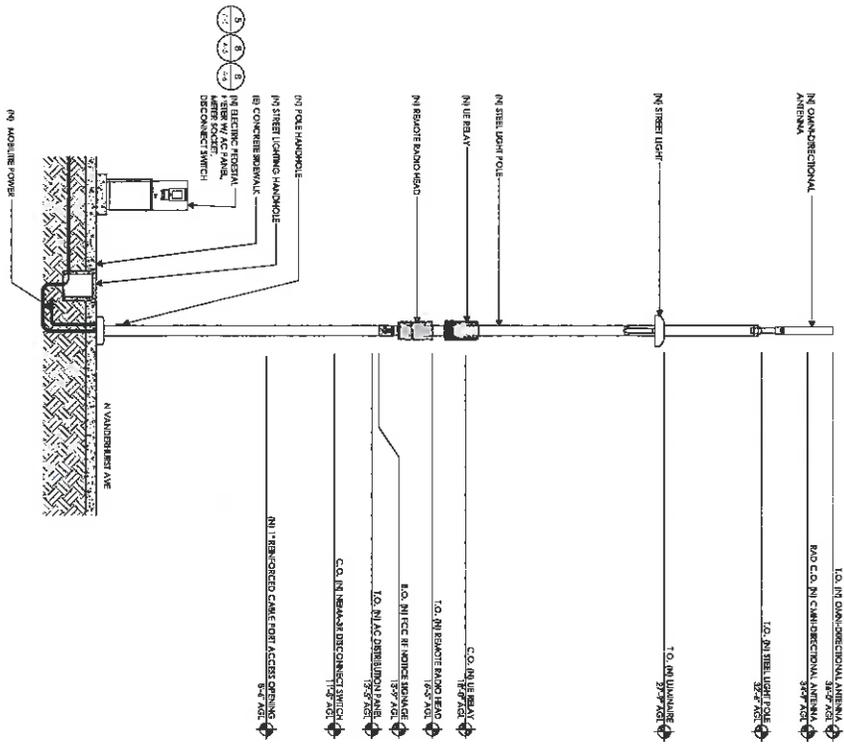
CITY OF KING

CR 2016-003

<p>MOBLITE, INC. 2855 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>	<p>Artemis Management, LLC 150 VISTA, COSTA MESA, CA 92626 714.940.2874 www.artemismanagement.com</p>	<p>PROJECT NO.: 9CAB008753 DRAWN BY: J.GOLDPLUS CHECKED BY: E.BARRIS</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>02/09/17</td> <td>PRELIMINARY</td> </tr> <tr> <td>2</td> <td>03/20/17</td> <td>FOR CITY REVIEW</td> </tr> <tr> <td>3</td> <td>06/20/17</td> <td>FOR CITY REVIEW</td> </tr> <tr> <td>4</td> <td>07/20/17</td> <td>FOR CITY REVIEW</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	02/09/17	PRELIMINARY	2	03/20/17	FOR CITY REVIEW	3	06/20/17	FOR CITY REVIEW	4	07/20/17	FOR CITY REVIEW	<p>LETTER AND EXHIBIT OF THE CITY OF KING AND APPROVAL OF THE CITY OF KING. THE CITY OF KING MAKES NO WARRANTY, REPRESENTATION OR GUARANTEE AS TO THE ACCURACY, COMPLETENESS, OR RELIABILITY OF THE INFORMATION CONTAINED HEREIN.</p>	<p>SITE NAME: 9CAB008753 SF90X5018A 404 N Vanderhurst Ave, King City, CA 93930 Utility Light Pole</p>	<p>SHEET TITLE: EXHIBIT PHOTOS ENLARGED SITE PLAN</p> <p>SHEET NUMBER: A-2</p>
NO.	DATE	DESCRIPTION																			
1	02/09/17	PRELIMINARY																			
2	03/20/17	FOR CITY REVIEW																			
3	06/20/17	FOR CITY REVIEW																			
4	07/20/17	FOR CITY REVIEW																			

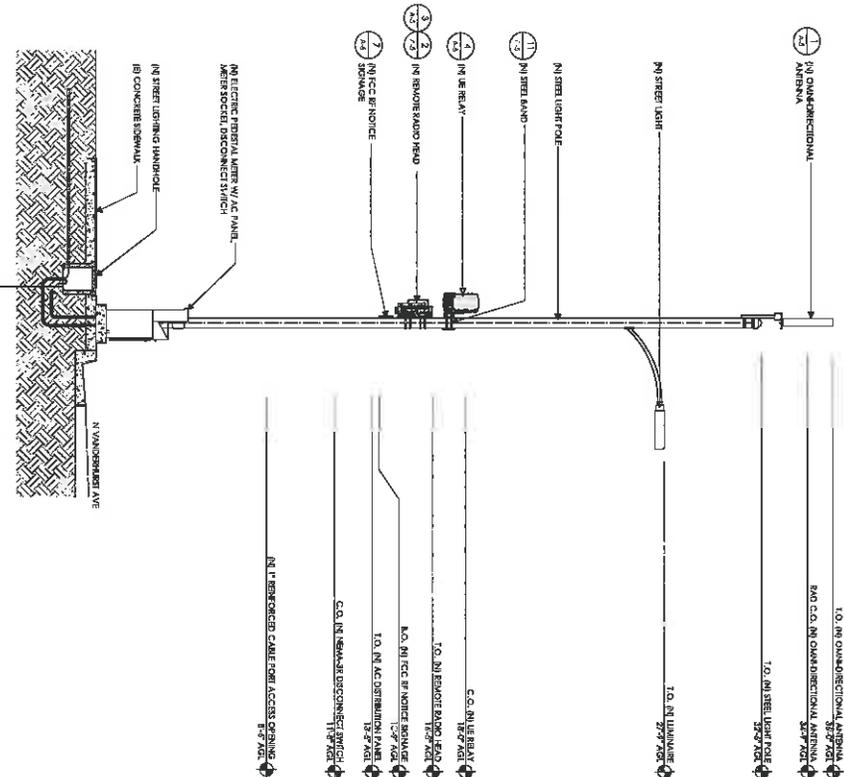
PROPOSED BACK ELEVATION

- NOTE:
1. ALL HARDWARE SHALL BE STAINLESS STEEL.
 2. ALL CABLES SHALL BE SECURED TO THE WIRE W/ AC USE.
 3. LIGHTNING RODS SHALL BE LOCATED AS REQUIRED BY LOCAL CODES AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL ELECTRICAL CODES AND LOCAL ORDINANCES.
 4. STRUTTING SHALL BE TO BE CONSIDERED IN ALL WINDLOADS AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL ELECTRICAL CODES AND LOCAL ORDINANCES.



PROPOSED SIDE ELEVATION

- NOTE:
1. ALL HARDWARE SHALL BE STAINLESS STEEL.
 2. ALL CABLES SHALL BE SECURED TO THE WIRE W/ AC USE.
 3. LIGHTNING RODS SHALL BE LOCATED AS REQUIRED BY LOCAL CODES AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL ELECTRICAL CODES AND LOCAL ORDINANCES.
 4. STRUTTING SHALL BE TO BE CONSIDERED IN ALL WINDLOADS AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL ELECTRICAL CODES AND LOCAL ORDINANCES.



0422016-003

RECEIVED

JUL - 3 2017

CITY OF KING

0422016-003

<p>MOBILE LIFE, INC. 2885 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>		<p>Mobile Management, LLC 180 VINE COURT P.O. BOX 83 SANTA ANA, CA 92704 www.mobilelifemanagement.com</p>	
<p>PROJECT NO: SCAM000203</p> <p>DRAWN BY: J.GODIUS</p> <p>CHECKED BY: E.BARRIS</p>		<p>DATE: 07/03/17</p> <p>SCALE: AS SHOWN</p> <p>DATE: 07/03/17</p> <p>SCALE: AS SHOWN</p>	
<p>9CAB008753</p> <p>SF90XS018A</p> <p>404 N Vanderhurst Ave, King City, CA 93930</p> <p>Utility Light Pole</p>		<p>SHEET TITLE: ELEVATIONS</p> <p>SHEET NUMBER: A-3</p>	

CABLING NOTES:

- AT WOOD, CONCRETE AND BERTING METALLIC POLES:
- (1) FROM GRADE LINE TO 11'6" ABOVE GRADE. ALL CABLES/CONDUCTORS EXCEPT GROUNDING CONDUCTOR MUST RUN IN RIGID GALVANIZED STEEL CONDUIT (RGS)
- (2) GROUNDING CONDUCTORS IN PROPOSED LOCATIONS MUST BE (1) 1/2" DIA. GALVANIZED STEEL CONDUIT (RGS)
- (3) INSIDE THE UTILITY POLE RIBBON, UTILITE W/ COAX B/C/D/C/W/1/2/3/4/5/6/7/8/9/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000/1001/1002/1003/1004/1005/1006/1007/1008/1009/1010/1011/1012/1013/1014/1015/1016/1017/1018/1019/1020/1021/1022/1023/1024/1025/1026/1027/1028/1029/1030/1031/1032/1033/1034/1035/1036/1037/1038/1039/1040/1041/1042/1043/1044/1045/1046/1047/1048/1049/1050/1051/1052/1053/1054/1055/1056/1057/1058/1059/1060/1061/1062/1063/1064/1065/1066/1067/1068/1069/1070/1071/1072/1073/1074/1075/1076/1077/1078/1079/1080/1081/1082/1083/1084/1085/1086/1087/1088/1089/1090/1091/1092/1093/1094/1095/1096/1097/1098/1099/1100/1101/1102/1103/1104/1105/1106/1107/1108/1109/1110/1111/1112/1113/1114/1115/1116/1117/1118/1119/1120/1121/1122/1123/1124/1125/1126/1127/1128/1129/1130/1131/1132/1133/1134/1135/1136/1137/1138/1139/1140/1141/1142/1143/1144/1145/1146/1147/1148/1149/1150/1151/1152/1153/1154/1155/1156/1157/1158/1159/1160/1161/1162/1163/1164/1165/1166/1167/1168/1169/1170/1171/1172/1173/1174/1175/1176/1177/1178/1179/1180/1181/1182/1183/1184/1185/1186/1187/1188/1189/1190/1191/1192/1193/1194/1195/1196/1197/1198/1199/1200/1201/1202/1203/1204/1205/1206/1207/1208/1209/1210/1211/1212/1213/1214/1215/1216/1217/1218/1219/1220/1221/1222/1223/1224/1225/1226/1227/1228/1229/1230/1231/1232/1233/1234/1235/1236/1237/1238/1239/1240/1241/1242/1243/1244/1245/1246/1247/1248/1249/1250/1251/1252/1253/1254/1255/1256/1257/1258/1259/1260/1261/1262/1263/1264/1265/1266/1267/1268/1269/1270/1271/1272/1273/1274/1275/1276/1277/1278/1279/1280/1281/1282/1283/1284/1285/1286/1287/1288/1289/1290/1291/1292/1293/1294/1295/1296/1297/1298/1299/1300/1301/1302/1303/1304/1305/1306/1307/1308/1309/1310/1311/1312/1313/1314/1315/1316/1317/1318/1319/1320/1321/1322/1323/1324/1325/1326/1327/1328/1329/1330/1331/1332/1333/1334/1335/1336/1337/1338/1339/1340/1341/1342/1343/1344/1345/1346/1347/1348/1349/1350/1351/1352/1353/1354/1355/1356/1357/1358/1359/1360/1361/1362/1363/1364/1365/1366/1367/1368/1369/1370/1371/1372/1373/1374/1375/1376/1377/1378/1379/1380/1381/1382/1383/1384/1385/1386/1387/1388/1389/1390/1391/1392/1393/1394/1395/1396/1397/1398/1399/1400/1401/1402/1403/1404/1405/1406/1407/1408/1409/1410/1411/1412/1413/1414/1415/1416/1417/1418/1419/1420/1421/1422/1423/1424/1425/1426/1427/1428/1429/1430/1431/1432/1433/1434/1435/1436/1437/1438/1439/1440/1441/1442/1443/1444/1445/1446/1447/1448/1449/1450/1451/1452/1453/1454/1455/1456/1457/1458/1459/1460/1461/1462/1463/1464/1465/1466/1467/1468/1469/1470/1471/1472/1473/1474/1475/1476/1477/1478/1479/1480/1481/1482/1483/1484/1485/1486/1487/1488/1489/1490/1491/1492/1493/1494/1495/1496/1497/1498/1499/1500/1501/1502/1503/1504/1505/1506/1507/1508/1509/1510/1511/1512/1513/1514/1515/1516/1517/1518/1519/1520/1521/1522/1523/1524/1525/1526/1527/1528/1529/1530/1531/1532/1533/1534/1535/1536/1537/1538/1539/1540/1541/1542/1543/1544/1545/1546/1547/1548/1549/1550/1551/1552/1553/1554/1555/1556/1557/1558/1559/1560/1561/1562/1563/1564/1565/1566/1567/1568/1569/1570/1571/1572/1573/1574/1575/1576/1577/1578/1579/1580/1581/1582/1583/1584/1585/1586/1587/1588/1589/1590/1591/1592/1593/1594/1595/1596/1597/1598/1599/1600/1601/1602/1603/1604/1605/1606/1607/1608/1609/1610/1611/1612/1613/1614/1615/1616/1617/1618/1619/1620/1621/1622/1623/1624/1625/1626/1627/1628/1629/1630/1631/1632/1633/1634/1635/1636/1637/1638/1639/1640/1641/1642/1643/1644/1645/1646/1647/1648/1649/1650/1651/1652/1653/1654/1655/1656/1657/1658/1659/1660/1661/1662/1663/1664/1665/1666/1667/1668/1669/1670/1671/1672/1673/1674/1675/1676/1677/1678/1679/1680/1681/1682/1683/1684/1685/1686/1687/1688/1689/1690/1691/1692/1693/1694/1695/1696/1697/1698/1699/1700/1701/1702/1703/1704/1705/1706/1707/1708/1709/1710/1711/1712/1713/1714/1715/1716/1717/1718/1719/1720/1721/1722/1723/1724/1725/1726/1727/1728/1729/1730/1731/1732/1733/1734/1735/1736/1737/1738/1739/1740/1741/1742/1743/1744/1745/1746/1747/1748/1749/1750/1751/1752/1753/1754/1755/1756/1757/1758/1759/1760/1761/1762/1763/1764/1765/1766/1767/1768/1769/1770/1771/1772/1773/1774/1775/1776/1777/1778/1779/1780/1781/1782/1783/1784/1785/1786/1787/1788/1789/1790/1791/1792/1793/1794/1795/1796/1797/1798/1799/1800/1801/1802/1803/1804/1805/1806/1807/1808/1809/1810/1811/1812/1813/1814/1815/1816/1817/1818/1819/1820/1821/1822/1823/1824/1825/1826/1827/1828/1829/1830/1831/1832/1833/1834/1835/1836/1837/1838/1839/1840/1841/1842/1843/1844/1845/1846/1847/1848/1849/1850/1851/1852/1853/1854/1855/1856/1857/1858/1859/1860/1861/1862/1863/1864/1865/1866/1867/1868/1869/1870/1871/1872/1873/1874/1875/1876/1877/1878/1879/1880/1881/1882/1883/1884/1885/1886/1887/1888/1889/1890/1891/1892/1893/1894/1895/1896/1897/1898/1899/1900/1901/1902/1903/1904/1905/1906/1907/1908/1909/1910/1911/1912/1913/1914/1915/1916/1917/1918/1919/1920/1921/1922/1923/1924/1925/1926/1927/1928/1929/1930/1931/1932/1933/1934/1935/1936/1937/1938/1939/1940/1941/1942/1943/1944/1945/1946/1947/1948/1949/1950/1951/1952/1953/1954/1955/1956/1957/1958/1959/1960/1961/1962/1963/1964/1965/1966/1967/1968/1969/1970/1971/1972/1973/1974/1975/1976/1977/1978/1979/1980/1981/1982/1983/1984/1985/1986/1987/1988/1989/1990/1991/1992/1993/1994/1995/1996/1997/1998/1999/2000/2001/2002/2003/2004/2005/2006/2007/2008/2009/2010/2011/2012/2013/2014/2015/2016/2017/2018/2019/2020/2021/2022/2023/2024/2025/2026/2027/2028/2029/2030/2031/2032/2033/2034/2035/2036/2037/2038/2039/2040/2041/2042/2043/2044/2045/2046/2047/2048/2049/2050/2051/2052/2053/2054/2055/2056/2057/2058/2059/2060/2061/2062/2063/2064/2065/2066/2067/2068/2069/2070/2071/2072/2073/2074/2075/2076/2077/2078/2079/2080/2081/2082/2083/2084/2085/2086/2087/2088/2089/2090/2091/2092/2093/2094/2095/2096/2097/2098/2099/2100/2101/2102/2103/2104/2105/2106/2107/2108/2109/2110/2111/2112/2113/2114/2115/2116/2117/2118/2119/2120/2121/2122/2123/2124/2125/2126/2127/2128/2129/2130/2131/2132/2133/2134/2135/2136/2137/2138/2139/2140/2141/2142/2143/2144/2145/2146/2147/2148/2149/2150/2151/2152/2153/2154/2155/2156/2157/2158/2159/2160/2161/2162/2163/2164/2165/2166/2167/2168/2169/2170/2171/2172/2173/2174/2175/2176/2177/2178/2179/2180/2181/2182/2183/2184/2185/2186/2187/2188/2189/2190/2191/2192/2193/2194/2195/2196/2197/2198/2199/2200/2201/2202/2203/2204/2205/2206/2207/2208/2209/2210/2211/2212/2213/2214/2215/2216/2217/2218/2219/2220/2221/2222/2223/2224/2225/2226/2227/2228/2229/2230/2231/2232/2233/2234/2235/2236/2237/2238/2239/2240/2241/2242/2243/2244/2245/2246/2247/2248/2249/2250/2251/2252/2253/2254/2255/2256/2257/2258/2259/2260/2261/2262/2263/2264/2265/2266/2267/2268/2269/2270/2271/2272/2273/2274/2275/2276/2277/2278/2279/2280/2281/2282/2283/2284/2285/2286/2287/2288/2289/2290/2291/2292/2293/2294/2295/2296/2297/2298/2299/2300/2301/2302/2303/2304/2305/2306/2307/2308/2309/2310/2311/2312/2313/2314/2315/2316/2317/2318/2319/2320/2321/2322/2323/2324/2325/2326/2327/2328/2329/2330/2331/2332/2333/2334/2335/2336/2337/2338/2339/2340/2341/2342/2343/2344/2345/2346/2347/2348/2349/2350/2351/2352/2353/2354/2355/2356/2357/2358/2359/2360/2361/2362/2363/2364/2365/2366/2367/2368/2369/2370/2371/2372/2373/2374/2375/2376/2377/2378/2379/2380/2381/2382/2383/2384/2385/2386/2387/2388/2389/2390/2391/2392/2393/2394/2395/2396/2397/2398/2399/2400/2401/2402/2403/2404/2405/2406/2407/2408/2409/2410/2411/2412/2413/2414/2415/2416/2417/2418/2419/2420/2421/2422/2423/2424/2425/2426/2427/2428/2429/2430/2431/2432/2433/2434/2435/2436/2437/2438/2439/2440/2441/2442/2443/2444/2445/2446/2447/2448/2449/2450/2451/2452/2453/2454/2455/2456/2457/2458/2459/2460/2461/2462/2463/2464/2465/2466/2467/2468/2469/2470/2471/2472/2473/2474/2475/2476/2477/2478/2479/2480/2481/2482/2483/2484/2485/2486/2487/2488/2489/2490/2491/2492/2493/2494/2495/2496/2497/2498/2499/2500/2501/2502/2503/2504/2505/2506/2507/2508/2509/2510/2511/2512/2513/2514/2515/2516/2517/2518/2519/2520/2521/2522/2523/2524/2525/2526/2527/2528/2529/2530/2531/2532/2533/2534/2535/2536/2537/2538/2539/2540/2541/2542/2543/2544/2545/2546/2547/2548/2549/2550/2551/2552/2553/2554/2555/2556/2557/2558/2559/2560/2561/2562/2563/2564/2565/2566/2567/2568/2569/2570/2571/2572/2573/2574/2575/2576/2577/2578/2579/2580/2581/2582/2583/2584/2585/2586/2587/2588/2589/2590/2591/2592/2593/2594/2595/2596/2597/2598/2599/2600/2601/2602/2603/2604/2605/2606/2607/2608/2609/2610/2611/2612/2613/2614/2615/2616/2617/2618/2619/2620/2621/2622/2623/2624/2625/2626/2627/2628/2629/2630/2631/2632/2633/2634/2635/2636/2637/2638/2639/2640/2641/2642/2643/2644/2645/2646/2647/2648/2649/2650/2651/

<p>OMNI DIRECTIONAL ANTENNA</p> <p>MANUFACTURER: ALPHA ANTENNAS MODEL: 11500 WEIGHT: 1.5 LBS HEIGHT: 14.25 IN WIDTH: 29.5 IN</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>IR460 UE RELAY</p> <p>MANUFACTURER: AIRSPAN MODEL: 11500 WEIGHT: 1.5 LBS HEIGHT: 3.5 IN DIAMETER: 4.5 IN</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>NOT USED</p>	<p>IR460 UE RELAY FLUSH MOUNT</p> <p>MANUFACTURER: AIRSPAN MODEL: 11500 WEIGHT: 1.5 LBS HEIGHT: 1.5 IN WIDTH: 4.5 IN</p> <p>SCALE: 1/8" = 1'-0"</p>
<p>AIRSPAN RADIO MOUNT</p> <p>MANUFACTURER: AIRSPAN MODEL: 11500 WEIGHT: 1.5 LBS HEIGHT: 14.25 IN WIDTH: 29.5 IN</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>AC LOAD CENTER</p> <p>MANUFACTURER: AIRSPAN MODEL: 11500 WEIGHT: 1.5 LBS HEIGHT: 3.5 IN WIDTH: 14.5 IN</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>NEMA-3R DISCONNECT SWITCH</p> <p>MANUFACTURER: SIEMENS MODEL: 11500 WEIGHT: 1.5 LBS HEIGHT: 1.5 IN WIDTH: 4.5 IN</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>STAINLESS STEEL BANDS</p> <p>MANUFACTURER: AIRSPAN MODEL: 11500 WEIGHT: 1.5 LBS HEIGHT: 1.5 IN WIDTH: 4.5 IN</p> <p>SCALE: 1/8" = 1'-0"</p>
<p>AIRSPAN RADIO MOUNT</p> <p>MANUFACTURER: AIRSPAN MODEL: 11500 WEIGHT: 1.5 LBS HEIGHT: 14.25 IN WIDTH: 29.5 IN</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>NOT USED</p>	<p>NOT USED</p>	<p>NOT USED</p>

MOBILITE
 Intelligent Infrastructure

MOBILITE, INC.
 2955 RED HILL AVENUE, SUITE 200
 COSTA MESA, CA 92626

MOBILITE MANAGEMENT SYSTEMS, LLC
 85 WEST, CA 94141
 www.mobilitemanagementsystems.com

PROJECT NO.: SC-1608753
 DRAWN BY: J.GOLDRUS
 CHECKED BY: B.BARRIS

DATE: 07/17/16
 REVISIONS:

1	08/20/17	ISSUE FOR PERMITS
2	09/29/17	ISSUE FOR PERMITS
3	07/25/17	ISSUE FOR PERMITS

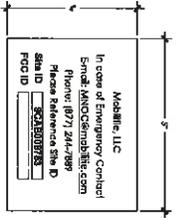
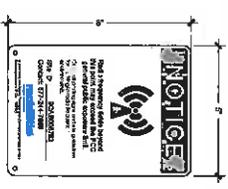
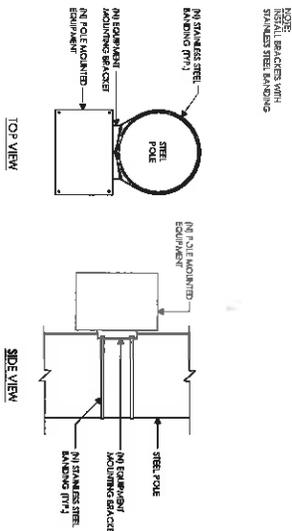
9CAB008753
 SF90XS018A
 404 N Vandeventer Ave,
 King City, CA 93930
 Utility Light Pole

SHEET NUMBER
A-5

CUP 2016-003

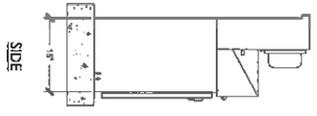
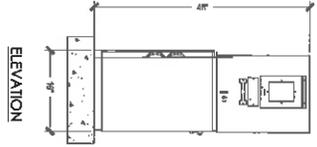
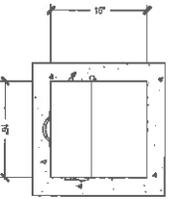
CUP 2016-003

NOT USED	NOT USED	NOT USED
----------	----------	----------



EQUIPMENT MOUNTING DETAIL 1 2 POLE MOUNTING SIGNS 4 6 NOT USED 7 8

RECEIVED
JUL - 2017
CITY OF KING



NOT USED 3 MILBANK METER PEDESTAL

mobile
Intelligent Infrastructure

MOBILITE, INC.
2955 RED HILL AVENUE, SUITE 200
COSTA MESA, CA 92626

Milestone Management, LLC
500 West, CA 94701
www.milestonemanagement.com

PROJECT NO:	9CAB008753
DRAWN BY:	LGCD/PLS
CHECKED BY:	E.BARNES
DATE:	
REVISIONS:	
1	05/20/17 75% CONSTRUCTION
2	08/20/17 90% CD REVISIONS
3	08/20/17 DESIGN REVISIONS
4	08/20/17 75% CONSTRUCTION

9CAB008753
SF90XS018A
404 N Vandenhurst Ave,
King City, CA 93930
Utility Light Pole

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
A-6

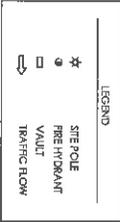
IT IS THE POLYMER'S RESPONSIBILITY TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED IN THIS DOCUMENT. THE POLYMER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS.

CR 2016-003

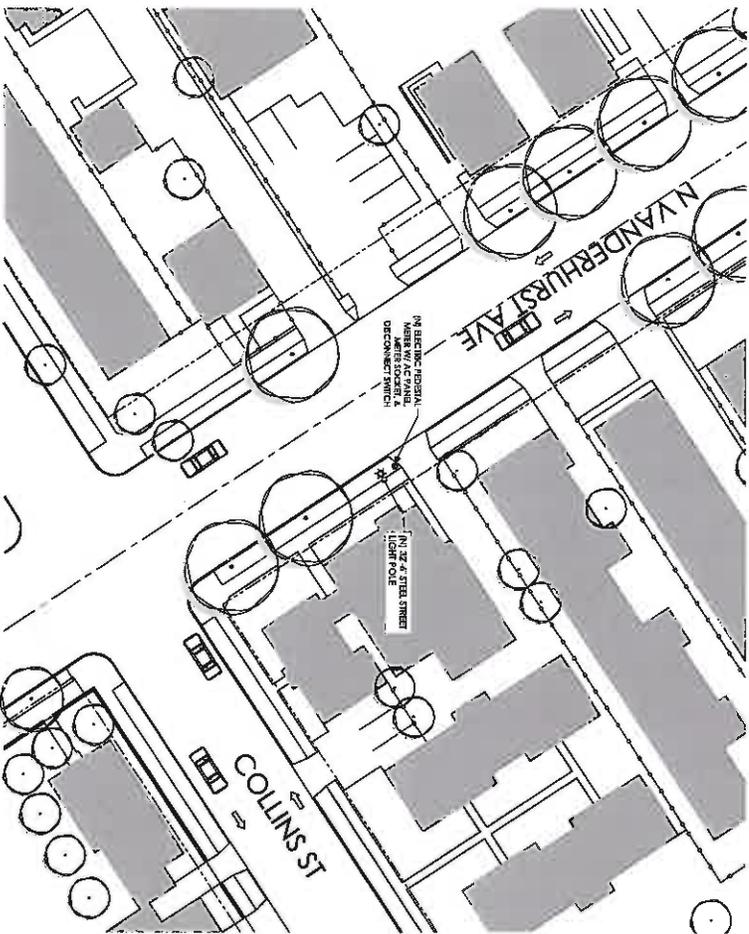
CR 2016-003

NOT FOR CONSTRUCTION

UTILITY PLAN



UNDERGROUND UTILITIES NOTE:
 THE LOCATIONS AND DEPTHS OF ANY UNDERGROUND PIPES, STRUCTURES OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EX. UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF ALL UTILITIES SHOWN AND ANY OTHER LINES NOT SHOWN ON THE PLAN.



POLE INFORMATION

SITE NAME:	SP903018A	TPO:	
INSTALLATION TYPE:	NEW POLE	STEEL POLE:	
POLE HEIGHT:	32'-6"	TPO:	
DATE:	05.27.2016	STEEL POLE:	
PROPOSED ATTACHMENT HEIGHT:	121.130108	TPO:	
INSTALLATION TYPE:		STEEL POLE:	
RECORD POLE OWNER:		TPO:	
RECORD POLE NUMBER:		STEEL POLE:	
RECORD POLE DIAMETER:		TPO:	
DESCRIBE AC POC ON EXISTING POLE:		OVERHEAD:	
POWER PROVIDER:		W/A:	
REQUIRED TO BRING POWER POC TO SITE:		W/A:	
REQUIRED TO BRING POWER POC TO SITE:		W/A:	
VISIBLE WIRED BACKSHALL OPTION:		W/A:	
SPECIAL SITE NOTES:		FIBER DISTRIBUTION BOX	

UR 2016-003

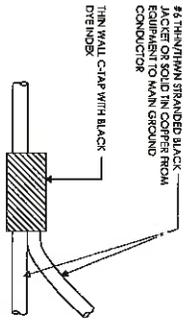
RECEIVED
 JUL - 3 2017

CITY OF KING

UR 2016-003

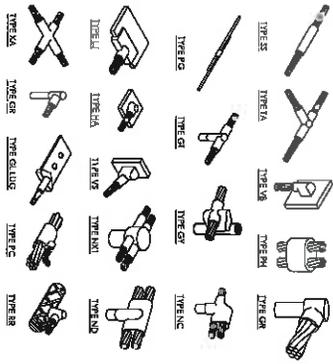
<p>Mobility Management, LLC 800 Valley View Blvd Costa Mesa, CA 92626 www.mobilitymanagement.com</p>		<p>mobilitie <small>Smart Infrastructure</small></p> <p>MOBILITE, INC. 2955 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>
<p>PROJECT NO: SCAB008753</p> <p>DESIGN BY: JSCORPUS</p> <p>CHECKED BY: BARBARA</p>	<p>DATE: 05/20/17</p> <p>DATE: 05/20/17</p> <p>DATE: 05/20/17</p>	<p>PROJECT NAME: 9CAB008753</p> <p>SITE NAME: SF90X3018A</p> <p>ADDRESS: 404 N Vanderhurst Ave, King City, CA 93930</p> <p>UTILITY: Utility Light Pole</p> <p>SHEET TITLE: ELECTRICAL PLAN</p> <p>SHEET NUMBER: E-2</p>

NOTE:
CONNECTION TO STRAND COUPLED
CONNECTION WITH HEAT SHRINK TUBING TO INSURE
WEATHER PROOF CONNECTION



C-CLAMP DETAIL

SCALE
NOT TO SCALE 1



NOTE:
BRNO BROTHERMAN "MOLD TYPES" SHOWN HERE ARE EXAMPLES, CONSULT
WITH PROJECT MANAGER FOR SPECIFIC MODELS TO BE USED FOR THIS
PROJECT.

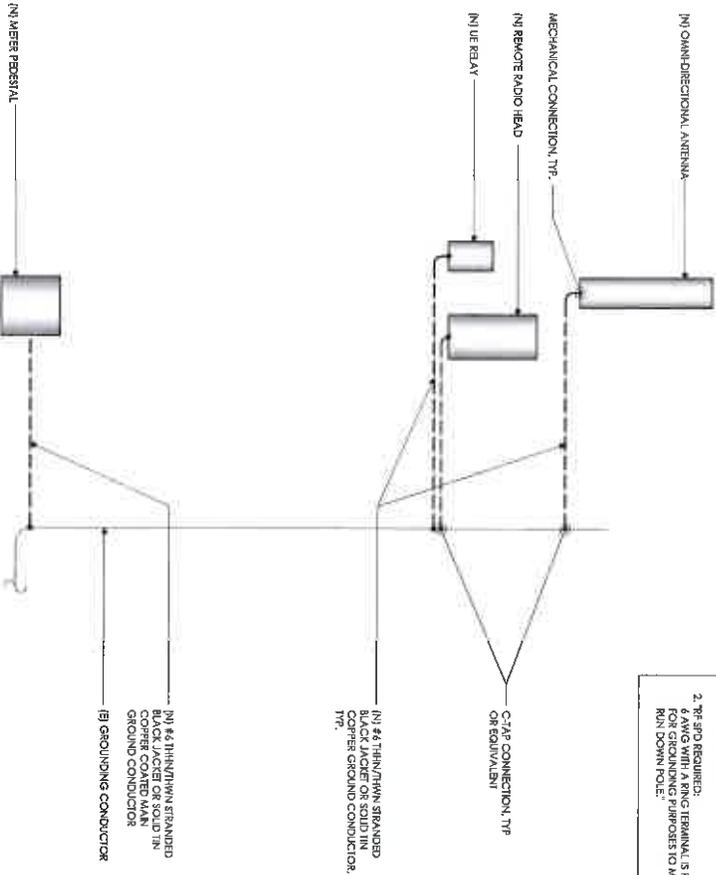
1. GROUND BONDS: ALL BONDS ARE TO BE MADE WITH #6 AWG STRANDED COPPER IN GREEN INSULATION. (INT-TP-6418 7, 6.7)
2. EXTERIOR UNIT BONDS: ALL METALLIC OBJECTS SHALL BE BONDED TO THE GROUND ROD. (INT-TP-6418 7, 1.34)
3. GROUND ROD: ALL UNITS COPPER CLAD STEEL GROUND ROD WITH MINIMUM DIAMETER OF 3/8" AND MINIMUM LENGTH OF 8 FEET. ALL GROUND RODS MAY BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO A MINIMUM DEPTH OF 40" BELOW GRADE OR 6 INCHES BELOW FROST LINE. (INT-TP-72416 1, 1.22.3, 10)

AERIAL SITE LOCATION

SCALE
NOT TO SCALE 2

GROUNDING SCHEMATIC DETAIL

SCALE
NOT TO SCALE 3



NOTES:
1. ALL GROUND CONDUCTORS TO BE #6 THIN/WHM STRANDED BLACK JACKET OR SOLID TN COPPER UNLESS OTHERWISE NOTED OR REQUIRED BY EQUIPMENT MANUFACTURER.
2. TYP. SPD REQUIRED: 6 AWG WITH A RING TERMINAL IS PROVIDED FOR GROUNDING PURPOSES TO MAIN GROUND RUN DOWN TOWER.

RECEIVED
JUL - 3 2017
CITY OF KING

UP 2016-003

UP 2016-003

mobile
Intelligent Infrastructure

MOBILE, INC.
2965 RED HILL AVENUE, SUITE 200
COSTA MESA, CA 92626

MM

Manson Management, LLC
1600 S. GARDEN AVENUE
SANTA ANA, CA 92705
714.962.5624
www.mansonmanagement.com

PROJECT NO: SCAB008753
DRAWN BY: LGOLDPULIS
CHECKED BY: BBAKERS

NO.	DATE	DESCRIPTION
1	02/28/17	MM CONSTRUCTION DWGS
2	03/02/17	MM CONSTRUCTION DWGS
3	03/02/17	MM CONSTRUCTION DWGS

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-1

SITE NAME
9CAB008753
SF90X3018A
404 N Vandenhurst Ave,
King City, CA 93930
Utility Light Pole

THIS DOCUMENT IS THE PROPERTY OF MOBILE, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF MOBILE, INC.

GENERAL CONSTRUCTION NOTES:

1. ALL WORK CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST ADOPTED EDITION, AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL CONSTRUCT WITH ACCORDANCE WITH THESE DRAWINGS AND LATEST EDITIONS OF THE SPECIFICATIONS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
3. CONTRACTOR SHALL VERIFY THE JOB SITE AND SHALL MAINTAIN THEREIN WITH ALL CONDITIONS APPLICABLE TO THE WORK AND SHALL MAKE PROVISIONS TO PROTECT THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STATUS OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
4. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
5. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
6. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, IT IS CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY CONFLICTS TO THE ARCHITECT PRIOR TO BEGINNING WORK.
7. DETAILS PROVIDED ARE FOR THE PURPOSE OF SHOWING DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS OR SITE CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
8. CONTRACTOR SHALL PAY FOR APPLICABLE PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED MODULITE CM PRIOR TO ORDERING MATERIALS AND THE COMMENCEMENT OF WORK.
9. THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FINISH AND INSTALL.
10. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DENIED OR DESCRIBED BY THE CONTRACT DOCUMENTS.
11. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING ACCEPTED INDUSTRY STANDARD SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADDRESSING ALL AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
13. CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MOBILE CM AND SCHEDULE THEIR ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.

ELECTRICAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS, AND ANY OTHER PORTIONS OF THE WORK.
2. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR THESE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
3. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND MAKE REPAIRS TO NEW CONDITION, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STATUS OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
4. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND MAKE REPAIRS TO NEW CONDITION, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STATUS OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
5. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND MAKE REPAIRS TO NEW CONDITION, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STATUS OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
6. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND MAKE REPAIRS TO NEW CONDITION, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STATUS OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
7. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND MAKE REPAIRS TO NEW CONDITION, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STATUS OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
8. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND MAKE REPAIRS TO NEW CONDITION, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STATUS OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
9. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND MAKE REPAIRS TO NEW CONDITION, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STATUS OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
10. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND MAKE REPAIRS TO NEW CONDITION, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STATUS OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
11. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND MAKE REPAIRS TO NEW CONDITION, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STATUS OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.
12. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND MAKE REPAIRS TO NEW CONDITION, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STATUS OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFORM WITH THE WORK MAY BE ACCOMPLISHED, AS SPECIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED MODULITE CM PRIOR TO CLAIM OF KNOWLEDGE OF FIELD CONDITIONS.



UR 2016-003

UR 2016-003

mobilette
Independent Infrastructure

MOBILETTE, INC.
2895 RED HILL AVENUE, SUITE 200
DOSTI, NEVADA, CA 92708

Mobilette Infrastructure, LLC
10000 W. CENTRAL EXP.
SUITE 100
DOSTI, NEVADA 92708
www.mobiletteinfrastructure.com

PROJECT NO:	SC-080203
DRAWING BY:	JACQUILUS
CHECKED BY:	BARBARA
DATE:	08/01/17
NO. OF SHEETS:	1
SHEET NO.:	1

SHEET TITLE	GENERAL NOTES
SHEET NUMBER	GN-1
SIE NAME	9CAB008753
PROJECT NUMBER	SF90XS018A
ADDRESS	404 N Vondelhurst Ave, King City, CA 93930
UTILITY	Utility Light Pole

DATE OF LAST REVISION	08/01/17
REVISION	1
DESCRIPTION	ISSUE FOR CONSTRUCTION

ELECTRICAL NOTES CONTD

13. THE CONNECTION OF ANY CABLE SHALL BE COVERED BY THE CONTRACTOR WITH ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPAIR OR REPLACEMENT OF ANY OTHER PART OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
14. CONTRACTOR SHALL PROVIDE AND INSTALL ALL CONDUIT, CONDUIT FITTINGS, PULL WIRE, BOXES, CONDUIT FIBERS AND DEVICES FOR ALL OUTLETS AS INDICATED.
15. DITCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND CABLES INCLUDING EXCAVATION AND BACKFILLING AND PROTECTION FROM DAMAGE AND RESURFACING AS NECESSARY.
16. MATERIALS, PRODUCTS AND EQUIPMENT INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF UL APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND ETC.
17. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURER'S CATALOG INFORMATION OF ALL WIRE AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE MOBILE UTILITIES DEPARTMENT.
18. ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND REFERENCED TO THE SPECIFICATION OF THE MOBILE UTILITIES DEPARTMENT.
19. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPE/RATED DIRECTORIES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
20. DISCONNECT SWITCHES SHALL BE UL-RATED, H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
21. ALL CONDUITS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND KNOWN AS "KODICOR" BY DEARBORNE CHEMICAL CO. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
22. RACEWAYS CONDUIT SHALL BE SCHEDULE 90 PVC MEETING OR EXCEEDING NEMA ICS-1990. CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND SPENT CONDUITS AND REMOVE SPARE WIRE PULL STRINGS - 200 LB TEST POLYETHYLENE CONDUIT. ALL WIRE SHALL MEET UL 600 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH HEAVY-DUTY RIGID CONDUIT. COAT ALL THREADS WITH "SHERLOCK" OR "COLD GALV."
23. SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
24. CONDUCTORS CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER WITH TYPE THWN INSULATION UNLESS OTHERWISE NOTED. 600 VOLT, COLOR CODED, USE SOLID CONDUCTORS FOR WIRE UP TO AND INCLUDING NO. 8 AWG. USE STRANDED CONDUCTORS FOR WIRE ABOVE NO. 8 AWG.
25. CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TIGHT METAL WIRE CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS METAL TERMINAL UNITS FOR NO. 12 AWG AND LARGER.
26. SERVICE AS SPECIFIED ON THE DRAWINGS. OWNER OR OWNER'S AGENT WILL APPLY FOR POWER. ALL PROVISIONS FOR TEMPORARY POWER WILL BE OBTAINED BY THE CONTRACTOR.
27. REPHONE OR FIBER SERVICE CONTRACTOR SHALL PROVIDE BURY CONDUITS WITH FULL STRIPS AS INDICATED ON DRAWINGS.
28. ELECTRICAL AND TELECOM FIBER RACEWAYS TO BE BURIED AT MINIMUM DEPTH OF 30" UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL PLACE 6" WIDE DISTRICT MARKING TAPE AT A DEPTH OF 4" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL AND TELECOM SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC" OR "BURIED TELECOM".
30. ALL BOLTS SHALL BE 3/4" DIA. 17 IN. CLASS 2.
31. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TEMPORARY DIRECTORIES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.

GROUNDING NOTES:

1. ALL HARDWARE SHALL BE 3/4" DIA. STAINLESS STEEL, INCLUDING LOCK WASHERS.
2. COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND, AS SPECIFIED, BEFORE MOUNTING. ALL HARDWARE SHALL BE STAINLESS STEEL, 3/8" DIA. OR LARGER.
3. FOR GROUND BOND TO STEEL ONLY, NEED A CADMIUM PLAT WASHER BOND W/ GROUND AND STEEL COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MOUNTING.
4. ALL STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING.
5. ALL ELECTRICAL AND GROUNDING AT THE POLE SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 790 LATEST EDITION, AND MANUFACTURER.
6. ALL DETAILS / ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
7. GROUND ALL ANTENNA BARRIERS, FRAME, CABLE RINGS, AND OTHER METALLIC COMPONENTS USING #4 GROUND WIRE. FOLLOW ANTENNA AND BTR MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS.
8. ALL GROUND CONNECTIONS SHALL BE #4 AWG, UNLESS OTHERWISE NOTED. ALL WIRES SHALL BE COVERED WITH THIN, UNLESS OTHERWISE NOTED. ALL GROUND WIRE SHALL BE SOLID COPPER OR STRANDED GREEN INSULATED WIRE.
9. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE, 10 OHMS MAXIMUM. PROVIDE SUPPLEMENTARY GROUNDING RODS AS REQUIRED TO 2 OHMS SPECIFIED OHMS READING. GROUNDING AND OTHER OPTIONAL TESTING WILL BE PROVIDED BY THE MOBILE UTILITIES DEPARTMENT ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
10. ALL HORIZONTAL RAIN GROUNDING CONDUCTORS SHALL BE INSTALLED A MINIMUM OF 30" BELOW GRADE. IF BELOW GRADE IS IN A TRENCH, UNLESS OTHERWISE NOTED, BACKFILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT/ENGINEER.
11. ALL GROUND CONDUCTORS SHALL BE BURN, AS STRAIGHT AND SHORT AS POSSIBLE, WITH A 1/2" DIA. 17 IN. CLASS 2 BUSHING FOR EACH END.
12. ACCEPTABLE CONNECTIONS FOR GROUND SYSTEM SHALL BE: BURNED, IN-GRADE FULL LENGTH CONNECTIONS FOR OUTDOOR USE OR AS APPROVED BY A PROFESSIONAL PROJECT MANAGER.
13. CABLED, EXOTHERMIC WELDED (WELDED CONNECTIONS), ONE (1) HOLE-TINNED COPPER CONNECTION (LONG BARRED FITTING).
14. ALL CHANGES CONNECTIONS SHALL HAVE APPROVED 1" MANUFACTURER'S DRAWING VISIBLE AT WITH HEAT TREATING.
15. ALL CONNECTION HARDWARE, IF SHALL BE TYPE 316 STAINLESS STEEL (NOT ATTACHED TO HARDWARE).
16. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-82 AND 250-83. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH ANY GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS.

TESTING AND EQUIPMENT TURN UP REQUIREMENTS:

1. RF CABLE DATA CABLE RADIO EQUIPMENT AND BACK SHALL EQUIPMENT TESTING WILL COMPLY WITH CURRENT INDUSTRY STANDARDS AND OR THOSE STANDARDS OF THE EQUIPMENT MANUFACTURER OR PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
2. CONTRACTOR WILL USE THE APPROPRIATE CALIBRATED TESTING EQUIPMENT IN THE TESTING OF RF CABLE DATA CABLE RADIO EQUIPMENT AND BACK SHALL.
3. EQUIPMENT THAT USES INDUSTRY STANDARDS OF THE MANUFACTURER OR THOSE STANDARDS PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
4. CONTRACTOR TO VERIFY AND RECORD ALL TEST RESULTS AND PROVIDE THESE RESULTS WITHIN THE FINAL CLOSE OUT PACKAGE.
5. ALL PERSONNEL INVOLVED IN THE TESTING OF RF CABLE DATA CABLE RADIO EQUIPMENT AND BACK SHALL EQUIPMENT WILL BE REQUIRED TO HAVE BEEN TRAINED AND OR CERTIFIED IN THE TESTING OF RF CABLE DATA CABLE RADIO EQUIPMENT AND BACK SHALL.

EQUIPMENT:

1. ALL TEST RESULTS SHALL BE IN THE STAMPED, RECORDED AND PRESENTED PRIOR TO BURNING AND TURN UP OF ANY EQUIPMENT.
2. GETS EQUIPMENT NOT TO BE TESTED OR ATTACHED TO ANY CABLE DURING TESTING.
3. DURING SO WILL DAMAGE TO THE GRS UNIT.
4. PRIOR TO TESTING IF THE CONTRACTOR HAS ANY QUESTIONS ABOUT THE TESTING PROCEDURE, PLEASE CALL AND OBTAIN ASSISTANCE FROM A QUALIFIED DESIGNATED TESTING REPRESENTATIVE.
5. EQUIPMENT IS NOT TO BE ENERGIZED UNTIL ALL TESTING HAS BEEN COMPLETED APPROVED AND THE APPROPRIATE AUTHORITY HAS BEEN NOTIFIED AND GIVEN APPROVAL TO ENERGIZE THE EQUIPMENT.

SITE WORK NOTES:

1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2. SITE LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
3. ALL (E) UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN FLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING UTILITIES AND (E) UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING (E) UTILITIES.
4. CONTRACTOR SHALL VERIFY ALL (E) UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERFERENCE OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER OR MOBILE UTILITIES DEPARTMENT ARCHITECT/ENGINEER. NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY HAS BEEN RESOLVED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL LOCAL, STATE AND FEDERAL AGENCIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL CALL LOCAL UTILITIES LOCATED HOT LINE SUCH AS 811, FOR UTILITY LOCATIONS A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. ALL NEW AND (E) UTILITIES STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO ANY IMPROVEMENT OF WORK. ANY COST RELATED TO ADJUSTING (E) STRUCTURES SHALL BE BORNE SOLELY BY THE CONTRACTOR.
6. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FAIRER INTO (E) GRADES AT THE GRADING LIMITS.
7. ALL TEMPORARY SIGNAGE FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LABELED OR RECORDED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

UP 2016-003

RECEIVED

JUL 15 2017

CITY OF MOBILE

mobile
Utilities

MOBILE UTILITY, INC.
2995 RED HILL AVE SUITE 200
OSHA MISS, CA 39268

MM

Mobile Utility, Inc.
2995 Red Hill Ave, Suite 200
Oshtemo, MS 39268
www.mobileutilities.com

PROJECT NO.	9CA008753
DRAWN BY	J. COULTERS
CHECKED BY	BLAIRS
DATE	06/27/17
REVISION	1. 06/27/17 10% OF DESIGN REVIEW
REVISION	2. 06/27/17 10% CONSTRUCTION REVIEW

SHEET NUMBER	GN-2
SHEET TITLE	GENERAL NOTES
SITE NAME	9CA008753 5F90X018A 404 N Vandeventer Ave, King City, CA 93930 Utility Light Pole
DATE AND TIME OF THE LAST REVISION	06/27/17 10% CONSTRUCTION REVIEW
DATE AND TIME OF THE PREVIOUS REVISION	06/27/17 10% OF DESIGN REVIEW

UP 2016-003

TYPE OF SIGN	FEET
A (Distance Between Signs)	100
B (Distance Between Signs)	125
C (Distance Between Signs)	100
Maximum Tangent Channelizing Device Spacing	25
Maximum Tangent Channelizing Device Spacing	50

Speed (MPH)	Spacing (ft.)			
	A	B	C	D
40 or less	200	200	200	100
41 to 49	350	350	350	175
50 to 54	500	500	500	250
55 or greater	2640	1640	1000	500

- * "ROAD WORK 1 MILE" sign may be used as an alternative to the "ROAD WORK AHEAD" sign
- ** 500' beyond the "ROAD WORK AHEAD" sign or midway between signs, whichever is less
- *** "BE PREPARED TO STOP" sign may be omitted for speeds of 45 MPH or less

LEGEND

- CHANGING DEVICE
- SCN
- WORKSPACE
- FLAGGER
- DIRECTION OF TRAVEL

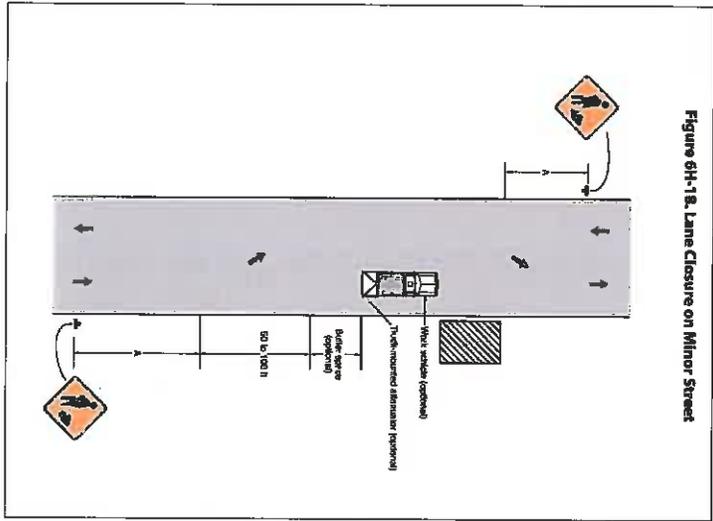


Figure 6H-18. Lane Closure on Minor Street

1. Work operations shall be confined to one traffic lane, leaving the opposite lane open to traffic.
2. Additional one-way control may be effected by the following means:
 - Flag-carrying vehicle
 - Official vehicle
 - Pilot vehicle
 - Traffic signal
3. The "ONE LANE ROAD" signs are to be fully covered and the "FLAGGER" signs either removed or fully covered when no work is being performed and the roadway is open to two-way traffic.
4. When a side road intersects the roadway within the TTC zone, additional TTC devices shall be placed in accordance with applicable TCZ indexes.
5. The two channelizing devices directly in front of the work

GENERAL NOTES

1. area and the one channelizing device directly at the end of the work area may be omitted provided vehicles in the work area have high-intensity rotating, flashing, oscillating, or strobe lights operating.
2. For general TCZ requirements and additional information, refer to MUTCD.

DURATION NOTES

1. "ROAD WORK AHEAD" and the "BE PREPARED TO STOP" signs may be omitted if all of the following conditions are met:
 - a. Work operations are 60 minutes or less
 - b. Speed limit is 45 MPH or less
 - c. No sight obstructions to vehicles approaching the work area for a distance equal to the buffer space
 - d. Vehicles in the work area have high-intensity, rotating, flashing, oscillating, or strobe lights operating
 - e. Volume and complexity of the roadway has been considered

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR OTHER ACTIVITIES ENCRoACH THE AREA BETWEEN THE CENTERLINE AND A LINE 2' OUTSIDE THE EDGE OF RAVEL WAY

Speed (MPH)	Distance (ft.)
25	155
30	200
35	250
40	305
45	360
50	425
55	495
60	570
65	645
70	730

When Buffer Space cannot be obtained due to geometric constraints, the greatest obtainable length shall be used, but not less than 200 ft.

RECEIVED
JUL - 2007
CITY OF KING

UR 2016-003

UR 2016-003

<p>Mobilite, Inc. 2855 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>	<p>Project No: PCL0808753 Drawn By: J.GOULD/LLS Checked By: B.SARLES</p>	<p>Mobility Management, LLC 80 Vada, CA 94477 Tel: 925.261.8282 www.mobilitymanagement.com</p>	<p>DATE FOR YOU TO GET THE LATEST AND MOST ACCURATE INFORMATION ON THIS PROJECT, PLEASE REFER TO THE PROJECT WEBSITE FOR THE LATEST INFORMATION TO ALL THE PROJECTS.</p> <p>SHEET NAME 9CA B008753 SF90X3018A 404 N Vandeventer Ave, King City, CA 93930 Utility Light Pole</p>	<p>SHEET TITLE VEHICLE TRAFFIC CONTROL PLAN</p>	<p>SHEET NUMBER TC-1</p>
--	--	--	---	---	------------------------------

Radio Frequency- Electromagnetic Energy-EME Measurements & Compliance Report

Site ID: 9CAB008753
Site Name: 9CAB008753A
Market/Region: CA
Address: 404 N. Vanderhurst Ave.
King City, CA 93930
Latitude: 36.215359
Longitude: -121.130148
Site Type: New Pole

Compliance Status:

Proposed equipment at the site is compliant with FCC guidelines for General Population environments

Prepared for:
Mobilite, LLC
2220 University Drive,
Newport Beach, CA 92660

CITY OF KING

APR - 7 2017

By
ATG LLC

Date:03/31/2017



Cup 2016-003

TABLE OF CONTENT

1 EXECUTIVE SUMMARY..... 3

2 MAXIMUM PERMISSIBLE EXPOSURE (MPE) MODELING RESULTS FOR PROPOSED SITE..... 3

3 ANTENNA INVENTORY 4

4 MODELING SUMMARY AND ASSUMPTIONS 4

 4.1 GENERAL MODEL ASSUMPTIONS 4

5 PREPARER CERTIFICATION 5

APPENDIX A..... 6

FEDERAL COMMUNICATIONS COMMISSION (FCC) REQUIREMENTS..... 6

APPENDIX B..... 9

GLOSSARY OF TERMS..... 9

APPENDIX C 10

ROOFVIEW EXPORT FILE 10

1 Executive Summary

Purpose of Report

ATG LLC's RF Engineering has conducted radio frequency electromagnetic energy (RF-EME) modeling for Mobilitie LLC's site 9CAB008753 located at 404 N. Vanderhurst Ave. King City, CA 93930 to determine RF-EME exposure levels from the carrier's proposed wireless communications equipment.

The Federal Communications Commission (FCC) has developed Maximum Permissible Exposure (MPE) limits for general public and occupational exposures to RF-EME. This report summarizes the results of RF-EME modeling in relation to relevant FCC compliance standards for limiting human exposure to RF-EME. The details of FCC defined exposure limits are provided in Appendix A of this report.

Analysis results included in this report are based on drawings dated Feb 8th, 2017.

Statement of Compliance

Predictive modeling conducted using the original equipment manufacturers (OEMs) specifications for radio and antenna performance along with the supplied construction drawings dated Feb 8th, 2017, indicate there will be no exposure due to the carrier's proposed equipment on accessible ground-level walking surface at this site that exceeds the FCC's general public exposure limits.

Proposed equipment at the site is compliant with FCC guidelines for general population environments.

2 Maximum Permissible Exposure (MPE) Modeling Results for Proposed Site

The predictive modeling was conducted using the RoofView 5.0 suite of analysis tools. The modeling was conducted with the antennas operating at 100% capacity, all antenna channels transmitting simultaneously and the radio transmitters operating at full power. Obstructions (trees, buildings etc.) that would normally attenuate the signal are not taken into account. As a result, the predicted signal levels are more conservative (higher) than the actual signal levels would be during normal operations. The modeling calculations were made for an area 40'x 40' area with the equipment at the center.

Table 1: Maximum Permissible Exposure- Summary

Location	% of FCC General Public/Uncontrolled Exposure Limit	% of FCC Occupational/Controlled Exposure Limit	Power Density (mW/cm ²)	Compliance Status
6ft above ground level	2.2	0.4	0.022	Compliant

3 Antenna Inventory

The Antenna Inventory shows all transmitting antennas on the site (see Table 2). This inventory was used by ATG to perform the software modeling of RF emissions. The inventory conforms with the submitted construction drawings which identifies the proposed mounting location of each antenna at the site. The exposure level is calculated for a person of height 6ft standing right below the devices at ground level.

Table 2: Antenna Inventory

Antenna ID	Carrier/Operator	Antenna Type	Frequency (MHz)	Technology	ERP (W)	Gain dBd	Mfg.	Model	Aperture (ft.)	Transmitter count	Horizontal BeamWidth (deg)	Z (6 ft. above Ground)
1	Mobilitie	Omni	2496	LTE	172.58	6.35	Alpha Wireless	AW3477-S	2.5	2	360	37.5
2	Mobilitie	LTE Relay BH	2496	LTE	30.9	9.85	Airspan	iR460	1.1	1	35	10.8

The table below details the operating power and Effective Radiated Power (ERP) for each carrier and frequency used in the modeling.

Frequency (MHz)	Power per Transmitter (Watts)	# of Transmitters	ERP (watts)
2496 (Omni)	20	2	172.58
2496 (UE Relay)	3.2	1	30.9

4 Modeling Summary and Assumptions

4.1 General Model Assumptions

The modeling was conducted using the antenna and radio maximum power values, while operating at full power with 100% duty cycle.

The site has been modeled with these assumptions to calculate the maximum RF energy density. ATG believes this to be a worst case analysis, based on data supplied by the OEMs and client. If actual power density measurements were made, ATG believes the real time measurements would indicate levels below those shown in the report.

5 Preparer Certification

I, Preparer, state that:

- I am an employee of ATG LLC that provides RF-EME safety and compliance services to the wireless communications industry.
- I have successfully completed 100s of RF-EME exposure studies and reports for various carriers.
- I am aware of the potential hazards from RF-EME exposures that would be classified "occupational" or "general public" under the FCC regulations.
- I am familiar with the FCC rules and regulations as well as OSHA regulations both in general and as they apply to RF-EME exposure.
- I have reviewed all the data related to the site and incorporated it into this study and Compliance Report such that the information contained in this report is true and accurate to the best of my knowledge.

David J. Semsarha

David Semsarha (RF Engineer)

Appendix A

Federal Communications Commission (FCC) Requirements

This appendix summarizes the policies, guidelines and requirements that were adopted by the FCC on August 1, 1996, amending Part 1 of Title 47 of the Code of Federal Regulations, and further amended by action of the Commission on August 25, 1997 (see 47 CFR Sections 1.1307(b), 1.1310, 2.1091 and 2.1093, as amended). Commission actions granting construction permits, licenses to transmit or renewals thereof, equipment authorizations or modifications in existing facilities, require the preparation of an Environmental Assessment (EA), as described in 47 CFR Section 1.1311, if the particular facility, operation or transmitter would cause human exposure to levels of radiofrequency (RF) electromagnetic fields in excess of these limits.

The potential hazard associated with the RF electromagnetic fields is discussed in OET Bulletin No. 65. This document can be obtained on the FCC website. (https://transition.fcc.gov/Bureaus/Engineering_Technology/Documents/bulletins/oet65/oet65.pdf)

As per FCC guidelines there are two separate tiers of exposure limits that are based upon occupational/controlled exposure limits (for workers) and general public/uncontrolled exposure limits for members of the general public.

Occupational/controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Limits for occupational/controlled exposure also apply in situations when an individual is transient through a location where occupational/controlled limits apply provided he or she is made aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means

General public/uncontrolled exposure limits apply to situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment and not be made fully aware of the potential for exposure or cannot exercise control over their exposure.

The FCC's MPE limits for field strength and power density are given in Table 1 (and in 47 CFR § 1.1310) Figure 1 is a graphical representation of the limits for plane-wave (far-field) equivalent power density versus frequency. The FCC's limits are generally applicable to all facilities, operations and transmitters regulated by the Commission, and compliance is expected with the appropriate guidelines. The power density limits vary by frequency to take into account the different types of equipment that may be in operation at a particular facility and are "time-averaged" limits to reflect different durations resulting from controlled and uncontrolled exposures.

(A) Limits for Occupational/Controlled Exposure

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time (E ² , H ² or S) (minutes)
0.3-3.0	614	1.63	(100)*	6
3.0-30	1842/f	4.89/f	(900/f ²)*	6
30-300	61.4	0.163	1.0	6
300-1500	--	--	f/300	6
1500-100,000	--	--	5	6

(B) Limits for General Population/Uncontrolled Exposure

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time (E ² , H ² or S) (minutes)
0.3-1.34	614	1.63	(100)*	30
1.34-30	824/f	2.19/f	(180/f ²)*	30
30-300	27.5	0.073	0.2	30
300-1500	--	--	f/1500	30
1500-100,000	--	--	1.0	30

f = frequency in MHz

*Plane-wave equivalent power density

f = frequency in MHz *Plane-wave equivalent power density

Table 1

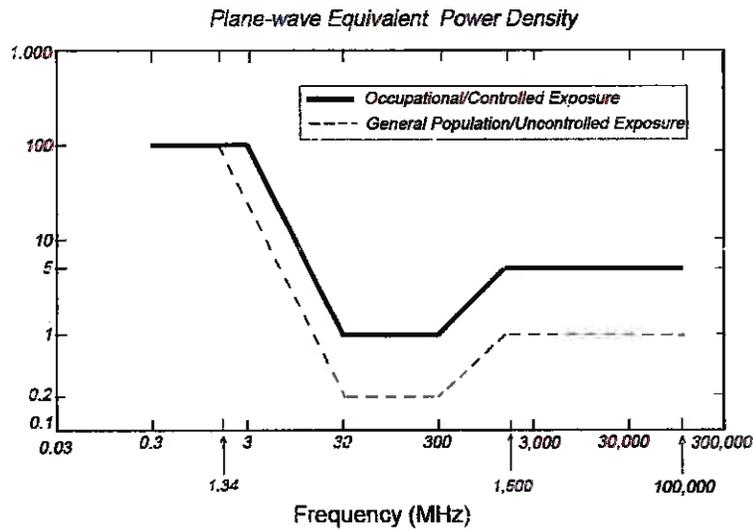


Figure 1. FCC Limits for Maximum Permissible Exposure (MPE)

The above mentioned FCC guidelines define MPE limits that are designed to provide substantial margin of safety for continuous exposure of all persons regardless of gender, age, size or health.

FCC Compliance Requirement

In general, as specified in 47 C.F.R. 1.1307(b), as amended, when the FCC's guidelines are exceeded in an accessible area due to the emissions from multiple fixed transmitters the following policy applies. Actions necessary to bring the area into compliance with the guidelines are the shared responsibility of all licensees whose transmitter's contribution to the RF environment at the non-complying area exceeds 5% of the exposure limit (that applies to their particular transmitter) in terms of power density or the square of the electric or magnetic field strength.

For non-compliant sites, Occupational Safety and Health Administration (OSHA) set recommendations to make the sites compliant. The document can be found in the link: https://www.osha.gov/dte/library/radiation/nir_stds_20021011/nir_stds_20021011.pdf

Appendix B

Glossary of Terms

1. *Electromagnetic Field (energy density)* – the electromagnetic energy contained in an infinitesimal volume divided by that volume.
2. *Exposure* – Exposure occurs whenever and wherever a person is subjected to electric, magnetic or electromagnetic fields other than those originating from physiological processes in the body and other natural phenomena.
3. *General Population / Uncontrolled Exposure* – applies to human exposure to RF fields when the general public is exposed or in which persons who are exposed as a consequence of their employment may not be made fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public always fall under this category when exposure is not employment-related.
4. *Maximum Permissible Exposure (MPE)* – the rms and peak electric and magnetic field strength, their squares, or the plane-wave equivalent power densities associated with these fields to which a person may be exposed without harmful effect and with an acceptable safety factor.
5. *Occupational / Controlled Exposure* – applies to human exposure to RF fields when persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled exposure limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general population/controlled limits.
6. *Power Density (S)* – Power per unit area normal to the direction of propagation, usually expressed in units of watts per square meter (W/m^2) or, for convenience, units such as milliwatts per square centimeter (mW/cm^2) or microwatts per square centimeter ($\mu W/cm^2$).



Item No. 8(B)

REPORT TO THE PLANNING COMMISSION

DATE: JULY 18, 2017

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: DOREEN LIBERTO, AICP, COMMUNITY DEVELOPMENT DIRECTOR

BY: MARICRUZ AGUILAR, ASSISTANT PLANNER

RE: CONSIDERATION OF CONDITIONAL USE PERMIT CASE NO. CUP2017-004 FOR CONSTRUCTION OF A NEW SMALL CELL SITE WITHIN THE EXISTING PUBLIC RIGHT-OF-WAY ALONG FRANCISCAN WAY.

RECOMMENDATION:

It is recommended Planning Commission adopt the attached Resolution No. 2017-181, which finds the project Categorically Exempt from CEQA and approves Conditional Use Permit Case No. CUP2017-004, subject to the attached Conditions of Approval.

BACKGROUND:

Mobilitie, LLC is a Competitive Local Exchange Carrier ("**CLEC**") regulated by the California Public Utilities Commission and has obtained a Certificate of Public Convenience and Necessity ("**CPCN**") from the California Public Utility Commission ("**CPUC**"). Mobilitie, LLC is undergoing nationwide efforts needed to meet the demands of wireless coverage and prepare for the future wireless technology.

David Downs, Mobilitie, LLC ("**Applicant**") submitted a use permit application to construct a new small cell site which includes a thirty-two (32') feet high steel light pole with a two plus (2'.45") foot high cell antenna mounted directly on top of the light pole; the total height of the light pole with the antenna is thirty-six (36') feet. The project also includes a four (4') foot tall pedestal meter located within five (5') feet from the light pole within the public right-of-way along Franciscan Way.

**PLANNING COMMISSION
CONSIDERATION OF CUP2017-004
JULY 18, 2017
PAGE 2 OF 17**

Location: Latitude/Longitude: 36.205456,-121.133448
Nearest Address: 300 Canal Street
Nearest Cross Streets: Franciscan Way and Broadway Street

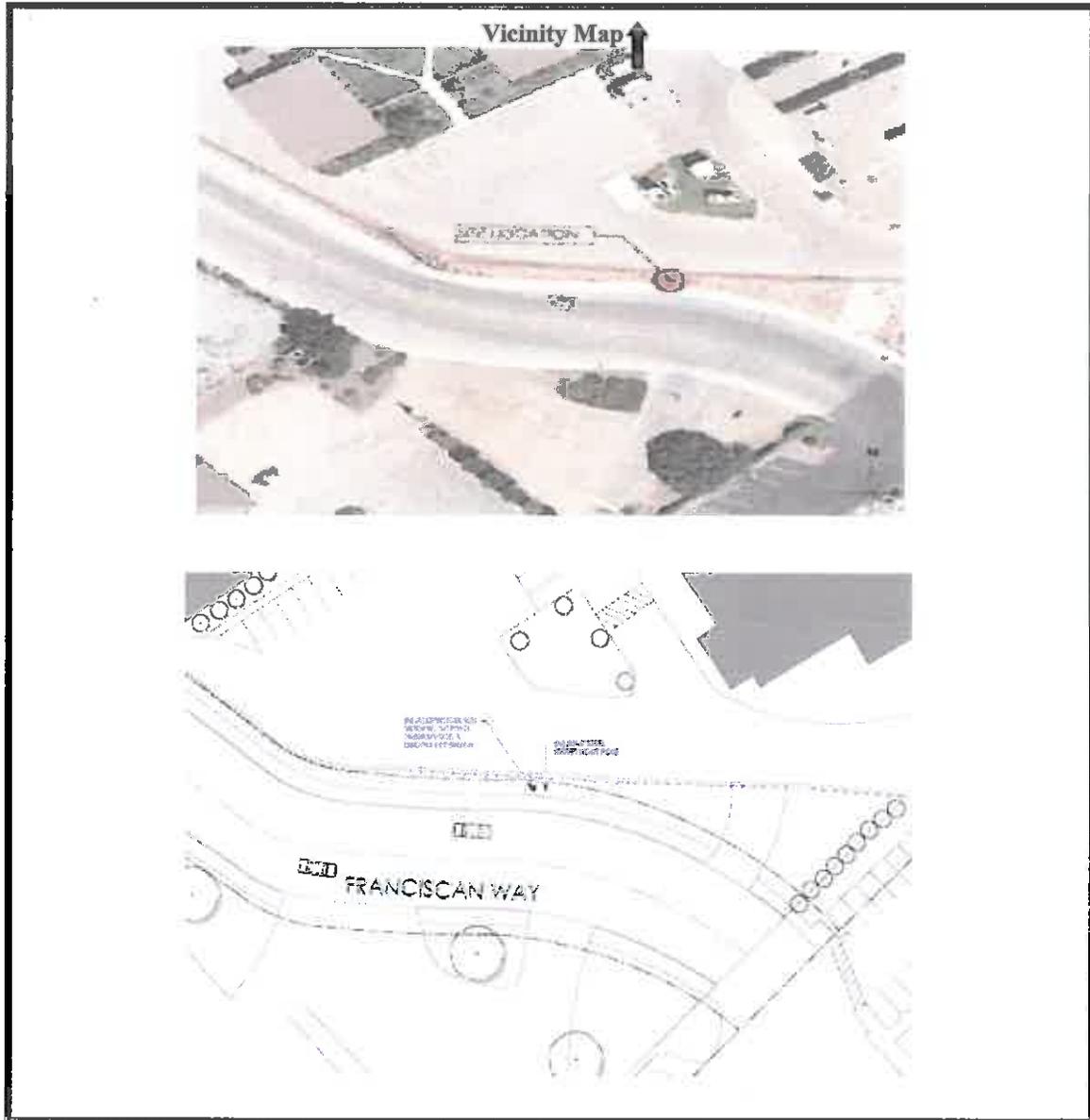
The purpose of the project is to enhance the quality of wireless coverage to the area. The new utility pole with antennas and equipment will allow for the offsetting capacity from other existing wireless facilities. The installation of these antennas is to deliver capacity and speed to dense areas. The Radio Frequency ("**RF**") Emissions Report prepared by ATG, LLC., and dated March 31, 2017 stated that the proposed exposure does not exceed the FCC's general public exposure limits and that the proposed site is compliant with FCC guidelines.

The Applicant is also proposing to install a new small cell site at two (2) other sites within the City's public right-of-way for a total of three (3) sites within the City. All three (3) sites will be using the same light standard to match the existing surrounding light poles and use a pedestal meter to lessen the visual impact of having equipment projected out of the poles.

DISCUSSION:

The Applicant requests a Conditional Use Permit for the construction of a new cell site within the public right-of-way. The project involves installing a new light pole with an OMNI Directional Antenna installed directly on top of the pole on the public street right-of-way. The associated equipment is proposed to be installed within a pedestal meter located five (5') feet away from the pole. The total height of the pole and antenna would reach up to thirty-six (36') feet in height. The project is located behind Mee Memorial Hospital on the public right-of-way along Franciscan Way (Latitude/Longitude: 36.205456,-121.133448).

Per the City Municipal Code §17.48.070, Exceptions to height limits, a Conditional Use Permit is required for poles and towers exceeding height limits. The proposed pole would be a total of thirty-six (36') foot in height and the standard street light height limit is thirty-seven (37') feet per the Design Standards and Specifications of the Public Works Department.



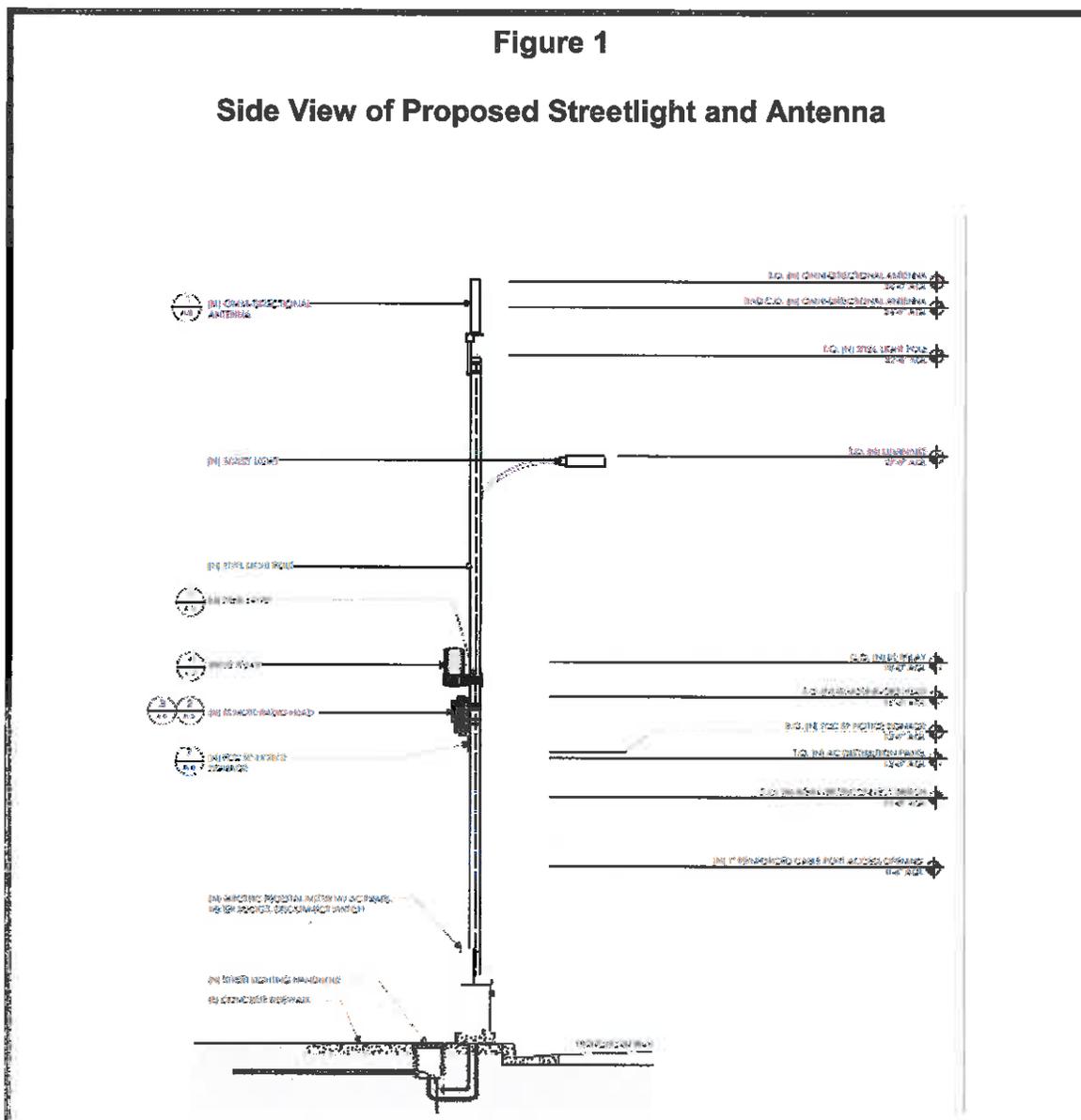
Analysis

Location: The proposed site is located within the public right-of-way along Latitude/Longitude: 36.205456, -121.133448. Nearest address is 300 Canal Street. Nearest Cross Streets: Franciscan Way and Broadway Street. The location is behind the Mee Memorial Hospital Building along the public right-of-way. The Project Review Committee ("**PRC**") has reviewed and provided the following recommendations:

**PLANNING COMMISSION
CONSIDERATION OF CUP2017-004
JULY 18, 2017
PAGE 4 OF 17**

Height & Material

The Applicant is proposing to match the City's streetlight standard. The City's streetlight standard as shown in the Standard Detail #49 of the Design Standards & Standard Specifications is an embedded steel pole thirty-seven (37') feet tall with an eight (8') feet arm length pole with a street lamp. The Applicant will be installing a thirty-six (36') feet tall steel pole with an eight (8') foot arm length pole with a street lamp. The antenna to be installed directly mounted on top of the pole. The pedestal meter is proposed to be within five (5') feet away from the pole and four (4') feet (48 inches in height x 16 inches in width) as shown on **Figure 1** and **2**.



**PLANNING COMMISSION
CONSIDERATION OF CUP2017-004
JULY 18, 2017
PAGE 6 OF 17**

Traffic

The Applicant only anticipates traffic being impacted during the construction phase. The construction phase is estimated to last three (3) days from 9AM – 3PM. The Applicant will assure proper traffic control measures are taken. The Applicant will need to submit an encroachment permit, prior to the installation of the light pole. (**Reference COA No. 11**).

Advantages

The project would enhance the quality of communications for residents and commuters in the surrounding area. The project will help meet the growing demand for high-speed data.

Disadvantages

The Applicant has amended the project to lessen the visual impact by using a street light standard for the pole and using a pedestal meter for the equipment rather than installing the equipment onto the pole. No disadvantages are known at this time.

Public Notification and Input

A Public Hearing Notice was published in the South County Newspaper *The Rustler* on July 5, 2017 and all property owners of record within three hundred (300') feet radius of the subject site were notified of the public hearing and invited to voice any concerns on this application. As of the date of the preparation of this staff report no written testimony has been received by the City. A public hearing will be conducted on July 18, 2017.

COST ANALYSIS:

Development Review Projects are based on times and materials. The Applicant has submitted a minimum fee per City Fee Schedule and the Applicant is responsible in payment of processing the CUP. Any additional permits required such as a building permit or encroachment permit will be subject to applicable fees.

ENVIRONMENTAL REVIEW:

The project is located within the right-of-way along Franciscan Way. The table below identifies the surrounding land use and zoning districts.

**PLANNING COMMISSION
 CONSIDERATION OF CUP2017-004
 JULY 18, 2017
 PAGE 7 OF 17**

Table 1 Adjacent Zoning/Land Use			
North:	Planned Development (P-D) Zoning District Public Quasi (P-Q) Land Use Designation	East:	Planned Development (P-D) Zoning District Public Quasi (P-Q) Land Use Designation
West:	Planned Development (P-D) Zoning District Public Quasi (P-Q) Land Use Designation	South:	Planned Development (P-D) Zoning District Retail Commercial (RC) Land Use Designation

The project is consistent with the City's General Plan Public Services and Facilities Goals and Policies, Objective 7.1, Program 7.1.1.2 The City shall work with utility providers to identify future utility expansion needs, obtain easements from property owners to extend private utilities, and promote cooperation between utility providers and property owners for the purpose of acquiring easements or rights-of-way for utility expansions.

The project as proposed will be installed on the City's public right-of-way and will be built to be visually compatible to the surrounding area by following the design of the City's streetlights. The pole will be a standard street light design and the antenna and equipment will be painted to match the pole and lessen any visual impact to pedestrians. A condition has been placed for an encroachment permit from the Public Works Department and to enter into a maintenance agreement with the City for the use of adding security cameras and signage.

The project is not anticipated to create any negative impacts to the surrounding land uses. The project as proposed meets the Federal Communications Commission ("**FCC**") for radio frequency ("**RF**") emissions as described in the compliance report dated March 31, 2017 prepared by ATG, LLC., to be less than one-percent (1%) of controlled exposure limits as allowed by FCC at six (6') feet above ground level. This is in compliant with FCC guidelines.

The project is Categorical Exempt pursuant to CEQA per Section 15303 New Construction or Conversion of Small Structures Class 3 (b).

**PLANNING COMMISSION
CONSIDERATION OF CUP2017-004
JULY 18, 2017
PAGE 8 OF 17**

**PROJECT REVIEW COMMITTEE COMMENTS AND REVIEW AND REVIEW
BY AGENCIES:**

A representative from each City Department meets to discuss most community development projects. This group operates as the City's staff advisory team, which is referred to as the Project Review Committee ("**PRC**"). PRC provides comments to the Applicants and conditions of approval ("**COA**") before a project goes to the Planning Commission. No major issues regarding the project arose during the meeting of the PRC. Comments from PRC are incorporated throughout the staff report and their recommendations are incorporated in the attached COA. Comments in this Staff Report reflect comments made by City Staff.

ALTERNATIVES:

The following alternatives are provided for Planning Commission consideration:

1. Adopt Resolution No. 2017-181, which approves CUP2017-004 subject to Conditions of Approval and finds the project Categorical Exempt from CEQA;
2. Make recommendations for modification as deemed appropriate by the Planning Commission; or
3. Provide other direction to staff.

Exhibits:

1. Findings of Fact
2. Conditions of Approval
3. Resolution No. 2017-181
4. Project Plans and Project Description
5. Radio Frequency Site Compliance Report dated March 31, 2017 by ATG, LLC.

Submitted by: Maricruz Aguilar
Maricruz Aguilar, Assistant Planner

Approved by: Doreen Liberto
Doreen Liberto, AICP, Community Development Director

EXHIBIT 1
CUP Case No. 2017-004
FINDINGS OF FACTS

The purpose for making Findings of Facts to *"bridge the analytical gap between the raw evidence and ultimate decision"*. The Municipal Code gives the Planning Commission ("**Commission**") the authority to approve a project so long as the Commission can make certain findings. Written "findings of fact" are required in order to support the decision of the hearing body to approve or deny a project.

Conditional Use Permit (CUP) Findings of Fact

- a. The proposed project is consistent with the requirements and policies of the City of King General Plan Public Quasi Land Use designation and Zoning Ordinance P-D Planned Development District. The project will provide additional wireless capacity to meet the needs of the area.
- b. The proposed will not impact parking requirements and the pole is meeting the requirements of the streetlight standards. The height limits will be at a total of thirty-six (36') foot high which does not substantially degrade the views from the public right-of-way and meets the City standards for light poles.
- c. The general appearance of the proposed new small cell site is in keeping with the character of the City's standard street light poles and coordinate with its surrounding properties.
- d. The Applicant submitted a Radio Frequency Emissions Compliance Report dated **March 31, 2017** prepared by ATG, LLC., which states that the proposed will not affect site compliance with the FCC rules and regulations. **Exhibit 5**.
- e. The COA as shown on **Exhibit 2** are necessary to protect the health, safety and general welfare of the community, to ensure that the City develops in an orderly manner, and to ensure that the Project operates in a manner that does not adversely affect the surrounding areas. The proposed use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.

California Environmental Quality Act (CEQA) Findings of Fact

The project is a Class 3 Categorical Exemption (CEQA Guidelines §15303, Class 3). The project consists of the construction of a new small cell facility on the City's public right-of-way.

EXHIBIT 2

RESOLUTION NO. 2017-181

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF KING,
APPROVING CONDITIONAL USE PERMIT CASE NO. CUP2017-004,
FOR MOBILITIE, LLC TO CONSTRUCT A NEW SMALL CELL SITE ON THE
PUBLIC RIGHT-OF-WAY ALONG FRANCISCAN WAY, KING CITY,
CALIFORNIA (LATITUDE/LONGITUDE: 36.205456, -121.133448)**

WHEREAS, On April 7, 2017, David Downs on behalf of Mobilitie, LLC, filed application an application for Case No. CUP2017-004 for the construction of a new small cell site that includes a thirty-two (32'6") foot high streetlight pole with a two plus (2'.45") feet tall OMNI Directional Antenna mounted on top of the pole for a total height thirty-six (36') feet. The project will also include placement of a four (4') foot pedestal meter located within five (5') feet of the proposed light pole, located on the public right-of-way along Franciscan Way (behind Mee Memorial Hospital) Latitude/Longitude: 36.205456,-121.133448; and

WHEREAS, on May 2, 2017, the application was found to be incomplete; and

WHEREAS, on May 9, 2017, resubmittals were received; and

WHEREAS, on May 12, 2017, the application was found complete; and

WHEREAS, a Radio Frequency Emissions Compliance Report, prepared by ATG, LLC., dated March 31, 2017 indicated that the proposed would not affect site compliance with the FCC Rules and Regulations; and

WHEREAS, the project is a Class 3 Categorical Exemption of CEQA consisting of installing a new small cell site on the public right-of-way; and

WHEREAS, on July 5, 2017, a notice was published in the South County Newspaper *The Rustler* and mailed notices to property owners of record within 300ft radius of the project site; and

WHEREAS, on July 18, 2017, the Planning Commission held the public hearing for the project; and

WHEREAS, the Commission has reviewed and considered the information provided in the Staff Report and testimony presented during the public hearing, and accepts the **Findings of Fact** as outlined in Exhibit 1, and the Applicant's submittals as shown in Exhibit 4; and

WHEREAS, the Commission of the City of King, California, met at the duly noticed public hearing on July 18, 2017, at which time all interested persons were given the opportunity to be heard; and

WHEREAS, the Commission makes the followings Findings of Facts:

Conditional Use Permit (CUP) Findings of Fact

**PLANNING COMMISSION
CONSIDERATION OF CUP2017-004
JULY 18, 2017
PAGE 11 OF 17**

- a. The proposed project is consistent with the requirements and policies of the City of King General Plan Public Quasi Land Use designation and Zoning Ordinance P-D Planned Development District. The project will provide additional wireless capacity to meet the needs of the area.
- b. The proposed will not impact parking requirements and the pole is meeting the requirements of the streetlight standards. The height limits will be at a total of thirty-six (36') foot high which does not substantially degrade the views from the public right-of-way and meets the City's streetlight standards.
- c. The general appearance of the proposed new small cell site is in keeping with the character of the City's standard street light poles and coordinate with its surrounding properties.
- d. The Applicant submitted a Radio Frequency Emissions Compliance Report dated **March 31, 2017** prepared by ATG, LLC., which states that the proposed will not affect site compliance with the FCC rules and regulations. **Exhibit 5**.
- e. The COA as shown on **Exhibit 2** are necessary to protect the health, safety and general welfare of the community, to ensure that the City develops in an orderly manner, and to ensure that the Project operates in a manner that does not adversely affect the surrounding areas. The proposed use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.

California Environmental Quality Act (CEQA) Findings of Fact

The project is a Class 3 Categorical Exemption (CEQA Guidelines §15303, Class 3). The project consists of the construction of a new small cell facility on the City's public right-of-way.

NOW, THEREFORE, BE IT HEREBY RESOLVED that the Planning Commission of the City of King approves Conditional Use Permit Case CUP2017-004 for the installation of a new small cell site on the public right-of-way along Franciscan Way (Latitude/Longitude: 36.205456,-121.133448) with the Conditions of Approval (**Exhibit 2**) and the project submittals (**Exhibit 4**) as presented.

This resolution was passed and adopted this 18th day of July, 2017, by the following vote:

AYES:

NAYS:

**PLANNING COMMISSION
CONSIDERATION OF CUP2017-004
JULY 18, 2017
PAGE 12 OF 17**

**ABSENT:
ABSTAIN:**

DAVID NUCK, CHAIRPERSON

ATTEST: _____
ERICA SONNE, SECRETARY TO THE PLANNING COMMISSION

EXHIBIT 3

CONDITIONS OF APPROVAL
PROJECT CASE NUMBER CUP2017-004

Community Development Department (The Applicant should discuss the following conditions of approval ("**COA**") with Maricruz Aguilar-Navarro, 831-386-5916, if there are any questions):

1. **Project Description:** Conditional Use Permit Case No. CUP2017-004 is a request to construct a new small cell site on the public right-of-way consisting of a new thirty-two (32'.6") feet streetlight pole with a two plus (2'.45") foot OMNI Directional Antenna for a total of thirty-six (36') feet in height and a four (4') pedestal meter located five (5') feet away from the streetlight pole along the right-of-way of Franciscan Way (behind of Mee Memorial Hospital) Latitude/Longitude: 36.205456,-121.133448 and shall be constructed in accordance with **Exhibit 4**, as approved by the Planning Commission on **July 18, 2017**.
2. **Approval Period:** The approval period for this permit shall be in accordance with the approved drawings and sketches and shall be null and void if not used within one (1) year from the date of the approval. Then the approval shall immediately expire and any building permit issued in reliance thereon shall be deemed cancelled and revoked. Municipal Code Section 17.64.030 prohibits any time extensions of the CUP and Variance beyond one year from the date of approval. No extension shall be permitted for the CUP as required by Municipal Code Section 17.64.030.
3. **Hold Harmless Clause:** Hold Harmless and Indemnification Clause: The Applicant agrees, as part of and in connection with each and all the applications and approvals, to defend, indemnify, and hold harmless the City of King ("**City**") and its elected officials, officers, contractors, consultants (including Earth Design, Inc., Hanna & Brunetti, Aleshire & Wynder, attorneys), employees and agents (including Earth Design, Inc., and Hanna & Brunetti) from any and all claim(s), action(s), or proceeding(s) (collectively referred to as "proceeding") brought against City or its officers, contractors, consultants, attorneys, employees, or agents (including Earth Design, Inc., Aleshire & Wynder, attorneys, and Hanna & Brunetti) to challenge, attack, set aside, void, or annul:
Any approvals issued in connection with all approvals, actions and applications by City covered by the conditions of approval and/or mitigation measures; and/or
Any action and approvals taken to provide related environmental clearance under the California Environmental Quality Act of 1970, as amended ("**CEQA**") by City's advisory agencies, boards or commissions; appeals

**PLANNING COMMISSION
CONSIDERATION OF CUP2017-004
JULY 18, 2017
PAGE 14 OF 17**

boards or commissions; Planning Commission, or City Council. The Applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by City, if any, and costs of suit, claim or litigation, including without limitation attorneys' fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the Applicant, *City, and/or parties initiating or involved in such proceeding.*

The Applicant agrees to indemnify City and its elected officials, officers, contractors, consultants, attorneys, employees and agents (including Earth Design, Inc., Hanna & Brunetti, Aleshire & Wynder, attorneys) for all of City's costs, fees, and damages incurred in enforcing the **indemnification** provisions of this Agreement.

The Applicant agrees to defend, indemnify and **hold harmless** City, its elected officials, officers, contractors, consultants (including Earth Design, Inc., Hanna & Brunetti, Aleshire & Wynder, attorneys), attorneys, employees and agents (including Earth Design, Inc., and Hanna & Brunetti) from and for all costs and fees incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending, any document (including, but not limited to, an environmental impact report, sphere of influence amendment, annexation, pre-zoning, general plan amendment, specific plan, vesting tentative tracts, sign applications, variances, conditional use permits, architectural review, etc.), if made necessary by said proceeding, and if the Applicant desires to pursue such City approvals and/or clearances, after initiation of the proceeding and that are conditioned on the approval of these documents.

In the event that the Applicant is required to defend City in connection with such proceeding, City shall have and retain the right to approve:

The counsel to so defend City.

All significant decisions concerning the manner in which the defense is conducted; and

Any and all settlements.

City shall also have and retain the right to not participate in the defense, except that City agrees to reasonably cooperate with the Applicant in the defense of the proceeding. If the City chooses to have counsel of its own defend any proceeding where the Applicant has already retained counsel to defend City in such matters, the fees and expenses of the additional counsel selected by City shall be paid by City. Notwithstanding the immediately preceding sentence, if City's Attorney's Office participates in the defense, any and all City Attorney, Staff and consultants' fees and costs shall be paid by the Applicant. In addition, in the event of litigation, the Applicant shall pay any and all City Staff and consultants' fees and costs.

The Applicant's defense and indemnification of City set forth herein shall remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgments rendered in the proceeding.

**PLANNING COMMISSION
CONSIDERATION OF CUP2017-004
JULY 18, 2017
PAGE 15 OF 17**

4. **Other County, State and Federal Permits:** Before initiation of the proposed use, the Applicant shall provide copies of any required County, State and Federal permits or written verification of a waiver of permit requirement.
5. **Structural Changes:** Installation shall be in substantial conformance with the plans, conditions of approval presented to and approved by the Planning Commission in connection with the project. No conditions, colors, materials or architectural features shall be eliminated, added or modified without Commission review and action, amended CUP, as applicable.

City of King Building and Safety Department (The Applicant should discuss the building permit submittal process with Paul Hodges, Chief Building Official Building and Safety Department at (831) 386-5915.)

6. **Building Plans:** All COA shall be imprinted on plans submitted for building permits. Building plans shall comply with the current Title 24 California Building Standards Codes.
7. **Electrical Permit:** As part of the building permit submittal, the Applicant shall submit for an Electrical Permit required for new electrical pedestal and associated electrical circuit.
8. **Address Assignment:** As part of the building permit submittal, Applicant to submit for an Address Assignment for the pedestal meter.
9. **Lighting:** Standard streetlight lamp shall be provided. As part of the building permit submittal, the lighting standard shall be submitted for review and approval by the Building Department and Public Works Department. Where appropriate, light-emitting diode ("**LED**") lighting should be used for external lighting to reduce the site's electricity consumption.
10. **Business License:** Before issuance of a building permit, a business license shall be obtained for every person conducting or carrying on the business of general contractor or contractor constructing, altering, repairing, wrecking or salvaging buildings, highways, roads, railroads, excavations or other structures, projects, developments or improvements.
Every person conducting or carrying on the business of electrical, plumbing or painting subcontractor.
Every person conducting or carrying on the business of masonry, glazier, cement, floor, heating, plastering, roofing, sash, sheet metal, tile, lathing and any other subcontractor not specifically mentioned in this Title 5 of the Municipal Code.
Every person conducting or carrying on the business of house moving,

**PLANNING COMMISSION
CONSIDERATION OF CUP2017-004
JULY 18, 2017
PAGE 16 OF 17**

grading, paving, wrecking, sewer construction, pipeline construction, trenching, or excavating.

Public Works Department (The Applicant should contact Sal Morales, Public Works Superintendent at 831-386-5919 or Octavio Hurtado, Hanna & Brunetti 408-842-2173, ohurtado@hannabrunetti.com, regarding the following COA, if there are any questions.)

- 11. Encroachment Permit:** Before starting construction of small cell site, the Applicant shall be required to obtain a City of King encroachment permit for all work in City right of way (e.g., sidewalk, curb, gutter, driveway, roadway, alley).
- 12. ADA Walkway Access:** Prior to issuance of an encroachment permit, the Applicant shall verify that the placement of the pole and meter shall not impede ADA walkway access, for the review and approval of the City Engineer.

Miscellaneous Conditions:

- 13. Maintenance Plan and Permission to Use Site:** Before issuance of a building permit, the Applicant shall provide and comply with a Maintenance Plan that satisfies both the Public Works and Building Department's requirements. At all times Mobilitie shall have permission to use the City's right of way for the proposed use. Permission for the purposes of this entitlement will be presumed in the absence of a written agreement or resolution by complying with the following: i) Mobilitie shall provide access to, and use of, the streetlight pole to the City, if/when the City should decide to install a security equipment; ii) The City will coordinate with Mobilitie regarding the installation of a security equipment, and Mobilitie shall provide full access to the proposed streetlight pole for both installation and on-going maintenance of any security equipment that the City may desire to install at no cost to the City; iii) Mobilitie will also allow installation of any signage on the proposed pole that the City may desire to install for either security, safety, or maintenance purposes; iv) Mobilitie will promptly repair or pay, at the option of the City, for any damage caused by Mobilitie to any of the City equipment, signage or murals; and v) Mobilitie shall allow for any City-approved group or person to paint mural(s) on the proposed meter-pedestals, as long as those murals do not conflict with any PG&E operations. Any/all murals painted on metered pedestals shall be in conformance with Municipal Code 17.55, as may be amended.
- 14. On-site Personnel:** Access to the tower shall be restricted to communication industry professionals, and approved contractor personnel trained in radio-frequency safety.

15. **Future Communication Interferences with County of Monterey Safety Communications System:** Prior to issuance of a building permit, the Applicant to obtain clearance with the County of Monterey Telecommunications Department that the additional antennas will not interfere with the safety communications system. Any future site radio frequency interferences from the cell site affecting the safety communication systems shall be corrected immediately. If it is not corrected immediately, the CUP will be treated as out of compliance with the COA.
16. **Height of Antennas:** New or replacement of antennas that because of technological requirements result in projecting above the existing size as approved shall be reviewed separately and no other carrier shall add/replace antennas or equipment that result in projecting above the existing height of the monopole without further review for code compliance.

Conditional Use Permit Condition Agreement

The Conditional Use Permit are **not** valid until all Conditions of Approval ("**COA**") imposed by the Planning Commission are signed for and agreed to by the Applicant.

I have received a copy of the Conditional Use Permit Conditions of Approval and agree with them. I understand that if I do not abide by them the Planning Commission has the authority to revoke my conditional use permit, pursuant to the Municipal Code. (Reference Municipal Code §17.64.040.).

Applicant Signature: _____ Date: _____

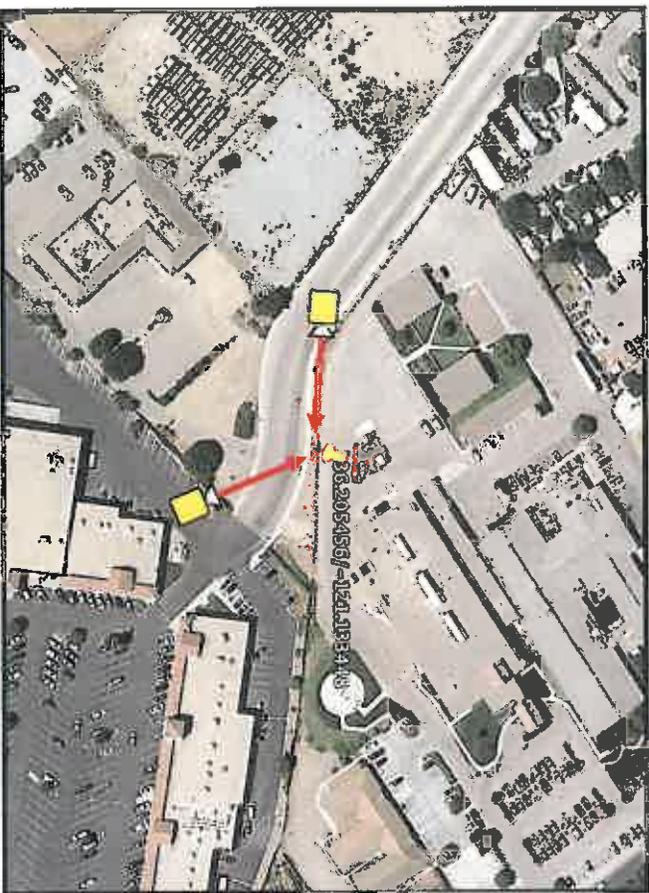
Photo Simulation Proposal

Site ID/Candidate ID: 9CAB014274 / SF90XSX63D

Date: 06/27/17

Installation Category: Small Cell
Site Description: Existing Right of Way
Simulated Views: 2

Pole Type: New Steel Pole
Location: 242 Franciscan Way,
King City, CA 93930



Simulation Viewing Locations   Lat/Long: 36.205456/-121.133448



Sample Proposed Configuration

Photo Simulation Proposal

This photographic simulation is intended as a visual guide only. It is not to be used for construction purposes, and should be used for esthetic consideration for the proposed installation.

Site ID: 9CAB014274
Candidate ID: SF90XSX63D
Pole Type: New Steel Pole
Location: 242 Franciscan Way,
King City, CA 93930



Date: 06/27/17

Page: 2 of 3

mobilitie
intelligent infrastructure

2955 Redhill Ave, Costa Mesa CA 92626
(714) 540-1857

WR 2017-084

Photo Simulation Proposal

This photographic simulation is intended as a visual guide only. It is not to be used for construction purposes, and should be used for aesthetic consideration for the proposed installation.

Site ID: 9CAB014274
Candidate ID: SF90XSX63D
Pole Type: New Steel Pole
Location: 242 Franciscan Way,
King City, CA 93930



Date: 06/27/17

Page: 3 of 3

Photo Simulation Proposal

This photographic simulation is intended as a visual guide only. It is not to be used for construction purposes, and should be used for esthetic consideration for the proposed installation.

Site ID: 9CAB014274
Candidate ID: SF90XSX63D
Pole Type: New Steel Pole

Location: 242 Franciscan Way,
King City, CA 93930

mobilitie
Intelligent Infrastructure

2955 Redhill Ave, Costa Mesa CA 92626
(714) 540-1857

CRP 2017-004

EXHIBIT 4



SITE ID-CANDIDATE LETTER/CASCADE ID-CANDIDATE LETTER:

9CAB014274/SF90XSX63D

LATITUDE/LONGITUDE:

36.205456/-121.133448

CROSS STREET:

Franciscan Way and Broadway St

CITY, STATE, ZIP:

242 Franciscan Way, King City, CA 93930

CITY OF KING

RECEIVED
JUL - 3 2017

MM
Mobility Management, LLC
801 Van, CA 94071
www.mobilitymanagement.com

PROJECT NO: 9CAB014274
DRAWN BY: JGOLDEN
CHECKED BY: BARRINS

mobilitie
Intelligent Infrastructure

MOBILITE, INC.
2865 RED HILL AVENUE, SUITE 200
COSTA MESA, CA 92626

**IF YOU DIG IN ANY STATE
CALL 811 FOR THE LOCAL
1-811'S LAW**

THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND LOCAL JURISDICTIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND LOCAL JURISDICTIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND LOCAL JURISDICTIONS.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OF EFFECT ON DRAINAGE OR SANITARY SEWER SERVICE. POTABLE WATER OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SEWAGE IS PROPOSED.

SITE INFORMATION

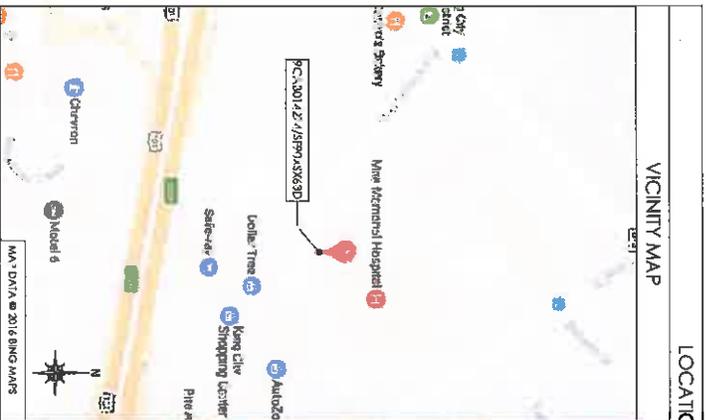
SITE ID:	9CAB014274
CASCADE ID:	SF90XSX63D
LATITUDE:	36.205456
LONGITUDE:	-121.133448
CROSS STREET:	FRANCISCAN WAY AND BROADWAY ST
CITY, STATE, ZIP:	KING CITY, CA 93930
COUNTY:	MONTEREY
JURISDICTION:	CITY OF KING CITY
PROPERTY OWNER:	PUBLIC REPUBLICAN
APPLICABLE:	MOBILE KIT 242 FRANCISCAN WAY KING CITY, CA 93930

ENGINEER

CONTRACT: ROBERT BARRINS
PROJECT: 9CAB014274
DATE: 07/03/2017
EMAIL: robert.barrins@mobilitymanagement.com

DO NOT SCALE DRAWINGS

CONTRACTORS SHALL VERIFY ALL PLANS, DIMENSIONS, AND FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



PROJECT DESCRIPTION

END USER PROPOSES TO INSTALL ANTI-BALL FACILITY ON A NEW STEEL POLE WITH AN EXISTING RIGHT-OF-WAY. THE SCOPE WILL CONSIST OF THE FOLLOWING:
- INSTALL PROPOSED SMALL SCALE WIRELESS EQUIPMENT ON A NEW STEEL LIGHT POLE
- INSTALL WIRELESS PERMITAL

CODES

NATIONAL BUILDING CODE
NATIONAL ELECTRICAL CODE
INTERNATIONAL FIRE CODE
LOCAL BUILDING/PLANNING CODE
GENERAL ORDER 95

DRAWING INDEX

SHEET NO.	TITLE SHEET	SHEET TITLE
A-1	OVERALL SITE PLAN	
A-2	EXHIBIT PHOTOS & ENLARGED SITE PLAN	
A-3	POLE BEHAVIORS	
A-4	PLUMBING & RISER DIAGRAM	
A-5	EQUIPMENT DETAILS	
A-6	EQUIPMENT DETAILS	
E-1	ELECTRICAL DETAILS	
E-2	ELECTRICAL PLAN	
G-1	GROUNDING DETAILS	
G-2	GENERAL NOTES	
G-3	GENERAL NOTES	
T-1	TRAFFIC CONTROL PLAN	

IT IS A REQUIREMENT OF THE CALIFORNIA AND FEDERAL WIRELESS TELECOMMUNICATIONS ACT THAT THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND LOCAL JURISDICTIONS.

SITE NAME
9CAB014274
SF90XSX63D
242 Franciscan Way,
King City, CA 93930
Utility Light Pole

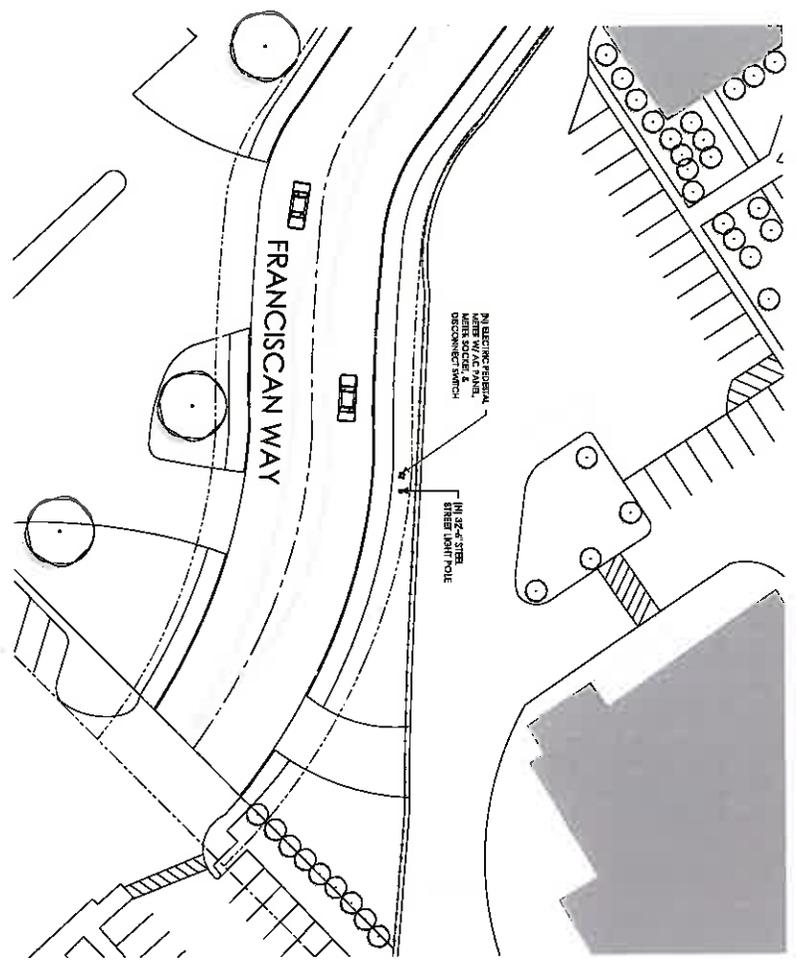
SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

CUP 2017-004

NOTE: THIS SITE PLAN WAS PREPARED WITHOUT THE USE OF A SURVEY. PROPERTY LINES, RIGHT-OF-WAYS, POWER & TELECOMMUNICATIONS CONNECTIONS, AND DIMENSIONS SHOWN ON THESE PLANS ARE ESTIMATED. ALL LINES AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.

UNDERGROUND UTILITIES NOTE: THE LOCATION AND DEPTH OF ANY UNDERGROUND PIPES, STRUCTURES, OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A RESEARCH OF AVAILABLE RECORDS. THESE RECORDS MAY BE CHANGED WITHOUT NOTICE. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THIS PLAN.



RECEIVE

JUL - 3 2017

CITY OF KING

CUP 2017-004

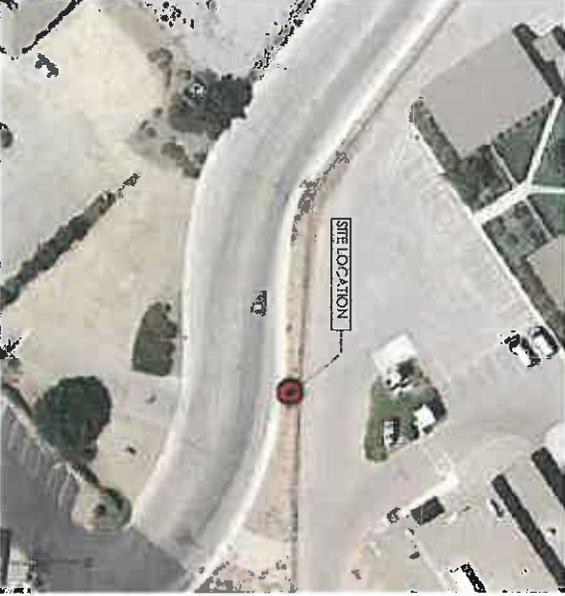


 M.M. Management, LLC 400 N. 4th St. Ste. 100 King, WA 98147 www.mmanagement.com	MOBILITE, INC. SUITE 200 2905 RED LANE SEASIDE, WA 98138	PROJECT NO. SCABM14274 DRAWN BY: JOE OLSON CHECKED BY: B. BARNES	1 10/20/17 10% CONSTRUCTION PERMITS 2 11/15/17 30% CONSTRUCTION PERMITS 3 12/15/17 50% CONSTRUCTION PERMITS 4 01/15/18 75% CONSTRUCTION PERMITS 5 02/15/18 90% CONSTRUCTION PERMITS
SHEET TITLE OVERALL SITE PLAN		SHEET NUMBER A-1	
SITE NAME 9CAB014274 SF90XSX63D 242 Franciscan Way, King City, CA 93930 Utility Light Pole		I, the undersigned, being a duly licensed and duly qualified Professional Engineer in the State of Washington, do hereby certify that I am the author of the foregoing drawings and that I am a duly licensed and duly qualified Professional Engineer in the State of Washington.	



EXHIBIT PHOTO

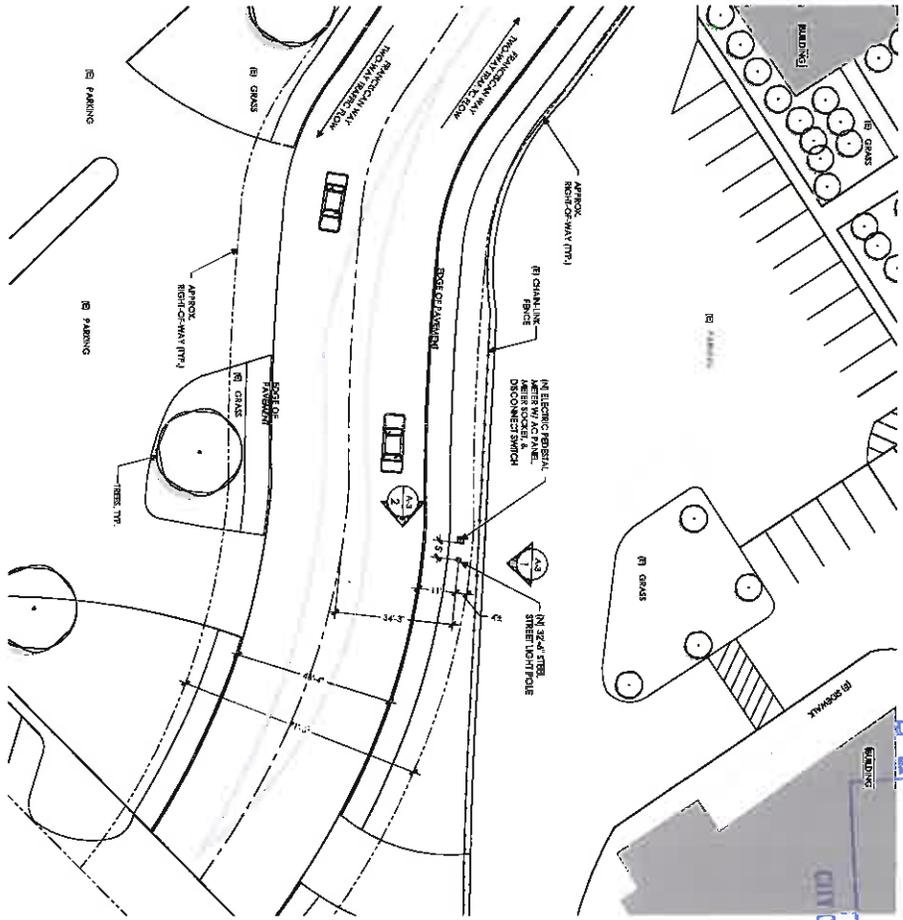
SCALE
NOT TO SCALE



AERIAL SITE LOCATION

SCALE
NOT TO SCALE

ENLARGED SITE PLAN



NOTE: THIS PLAN HAS BEEN PREPARED WITHOUT THE USE OF A SURVEY. PROPERTY LINES, RIGHT-OF-WAYS, POWER & TELECOM UTILITY LINE FOOTPRINTS, CONNECTIONS, DIMENSIONS SHOWN ON THESE PLANS ARE ESTIMATED. ALL LINES AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.

UNDERGROUND UTILITIES: THERE ARE NO KNOWN UTILITIES SHOWN ON THIS PLAN. ANY UTILITIES OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ABOVE. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND HAS NOT BEEN ABLE TO LOCATE ANY UTILITIES SHOWN ON THIS PLAN.

SCALE
1" = 100'

3

RECEIVED
JUL - 3 2017

MOBILITE
Mobile Phone Services

MOBILITE, INC.
2855 RED HILL AVENUE, SUITE 200
COSTA MESA, CA 92626

MM

AMERICAN MOBILITY, LLC
P.O. BOX 63
2855 RED HILL AVENUE
COSTA MESA, CA 92626
WWW.AMERICANMOBILITY.COM

PROJECT NO: MCAB014274
DRAWN BY: JAG/DPL/SS
CHECKED BY: E.B.A/BNS

3	05/20/17	DESIGN REVISIONS
1	05/15/17	ISSUE FOR PERMITS
1	05/20/17	ISSUE FOR COMMERCIAL DRIVING

THIS IS A NOTIFICATION OF THE LOCATION AND DEPTH OF ANY UTILITIES SHOWN ON THIS PLAN. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND HAS NOT BEEN ABLE TO LOCATE ANY UTILITIES SHOWN ON THIS PLAN.

SITE NAME

9CAB014274
SF90XSX63D
242 Franciscan Way,
King City, CA 93930
Utility Light Pole

SHEET TITLE
EXHIBIT PHOTOS
ENLARGED SITE PLAN

SHEET NUMBER
A-2

09P2017-004

<p>OMNI DIRECTIONAL ANTENNA</p> <p>MANUFACTURER: ALPHA WIRELESS MODEL: AW074 HEIGHT: 4.5 IN WIDTH: 22.5 IN DEPTH: 4.5 IN</p> <p>SCALE: 1/2" = 1'-0"</p>	<p>IR460 UE RELAY</p> <p>MANUFACTURER: ALPHA WIRELESS MODEL: IR460 HEIGHT: 2 IN WIDTH: 5 IN DEPTH: 2 IN</p> <p>SCALE: 1/2" = 1'-0"</p>	<p>NOT USED</p>	<p>IR460 UE RELAY FLUSH MOUNT</p> <p>MANUFACTURER: ALPHA WIRELESS MODEL: IR460 HEIGHT: 2 IN WIDTH: 5 IN DEPTH: 2 IN</p> <p>SCALE: 1/2" = 1'-0"</p>
<p>AIRSPAN RADIO MOUNT</p> <p>MANUFACTURER: AIRSPAN MODEL: AMR10 HEIGHT: 4.5 IN WIDTH: 16.7 IN DEPTH: 4.5 IN</p> <p>SCALE: 1/2" = 1'-0"</p>	<p>AC LOAD CENTER</p> <p>MANUFACTURER: ALPHA WIRELESS MODEL: AL100 HEIGHT: 4.5 IN WIDTH: 11.4 IN DEPTH: 4.5 IN</p> <p>SCALE: 1/2" = 1'-0"</p>	<p>NEMA-3R DISCONNECT SWITCH</p> <p>MANUFACTURER: SIEMENS MODEL: 3PS100 HEIGHT: 4.5 IN WIDTH: 8.8 IN DEPTH: 4.5 IN</p> <p>SCALE: 1/2" = 1'-0"</p>	<p>STAINLESS STEEL BANDS</p> <p>MANUFACTURER: [Not specified] MODEL: [Not specified] HEIGHT: 1.5 IN WIDTH: 5.5 IN DEPTH: 1.5 IN</p> <p>SCALE: 1/2" = 1'-0"</p>
<p>AIRSPAN RADIO MOUNT</p> <p>MANUFACTURER: AIRSPAN MODEL: AMR10 HEIGHT: 4.5 IN WIDTH: 16.7 IN DEPTH: 4.5 IN</p> <p>SCALE: 1/2" = 1'-0"</p>	<p>NOT USED</p>	<p>NOT USED</p>	<p>NOT USED</p>

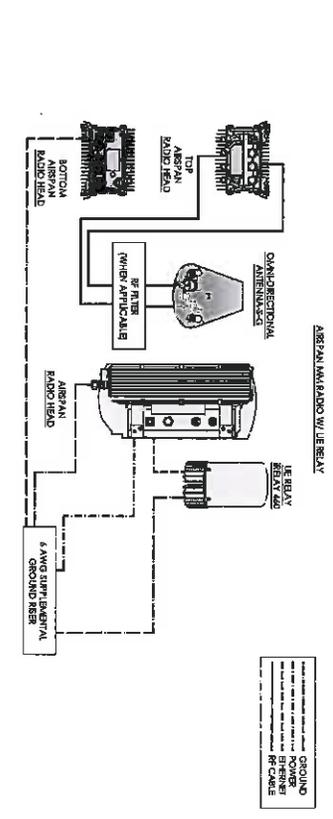
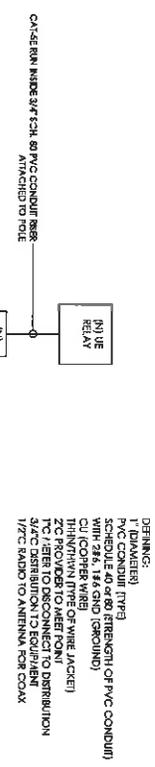
RECEIVED
JUL 20 2017
CITY OF KING

CR 2017-004

 MOBILITE, INC. 2855 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626	 Macton Management, LLC 815 S. GATE, CA 92721 www.macton.com	PROJECT NO: 9CA8014274 DRAWN BY: J.COPPERS CHECKED BY: E.BARNES	DESIGN REVISIONS 1. 06/20/17 295 CD EXHAUST SERVICES 2. 06/20/17 295 CD EXHAUST SERVICES 3. 06/20/17 295 CD EXHAUST SERVICES	SHEET TITLE: EQUIPMENT DETAILS SHEET NUMBER: A-5
SITE NAME: 9CA8014274 SF90XSX63D 242 Froniscan Way, King City, CA 95930 Utility Light Pole				

CHE LINE DIAGRAM

CITY OF KING



WIRING DIAGRAM

BREAKER SCHEDULE

MAXIMUM CONNECTED LOAD: 18kW

NO.	TYPE	AMPS	VOLTS	KVA	WATTS
1	20A MCCB	20	240	4.80	4750.4
2	5A CB	5	240	1.20	1175.0
3	7A CB	7	240	1.68	1638.0
4	20A MCCB	20	240	4.80	4750.4
5	5A CB	5	240	1.20	1175.0
6	7A CB	7	240	1.68	1638.0
7	20A MCCB	20	240	4.80	4750.4
8	5A CB	5	240	1.20	1175.0
9	7A CB	7	240	1.68	1638.0
10	20A MCCB	20	240	4.80	4750.4
11	5A CB	5	240	1.20	1175.0
12	7A CB	7	240	1.68	1638.0
13	20A MCCB	20	240	4.80	4750.4
14	5A CB	5	240	1.20	1175.0
15	7A CB	7	240	1.68	1638.0
16	20A MCCB	20	240	4.80	4750.4
17	5A CB	5	240	1.20	1175.0
18	7A CB	7	240	1.68	1638.0
19	20A MCCB	20	240	4.80	4750.4
20	5A CB	5	240	1.20	1175.0
21	7A CB	7	240	1.68	1638.0
22	20A MCCB	20	240	4.80	4750.4
23	5A CB	5	240	1.20	1175.0
24	7A CB	7	240	1.68	1638.0
25	20A MCCB	20	240	4.80	4750.4
26	5A CB	5	240	1.20	1175.0
27	7A CB	7	240	1.68	1638.0
28	20A MCCB	20	240	4.80	4750.4
29	5A CB	5	240	1.20	1175.0
30	7A CB	7	240	1.68	1638.0
31	20A MCCB	20	240	4.80	4750.4
32	5A CB	5	240	1.20	1175.0
33	7A CB	7	240	1.68	1638.0
34	20A MCCB	20	240	4.80	4750.4
35	5A CB	5	240	1.20	1175.0
36	7A CB	7	240	1.68	1638.0
37	20A MCCB	20	240	4.80	4750.4
38	5A CB	5	240	1.20	1175.0
39	7A CB	7	240	1.68	1638.0
40	20A MCCB	20	240	4.80	4750.4
41	5A CB	5	240	1.20	1175.0
42	7A CB	7	240	1.68	1638.0
43	20A MCCB	20	240	4.80	4750.4
44	5A CB	5	240	1.20	1175.0
45	7A CB	7	240	1.68	1638.0
46	20A MCCB	20	240	4.80	4750.4
47	5A CB	5	240	1.20	1175.0
48	7A CB	7	240	1.68	1638.0
49	20A MCCB	20	240	4.80	4750.4
50	5A CB	5	240	1.20	1175.0
51	7A CB	7	240	1.68	1638.0
52	20A MCCB	20	240	4.80	4750.4
53	5A CB	5	240	1.20	1175.0
54	7A CB	7	240	1.68	1638.0
55	20A MCCB	20	240	4.80	4750.4
56	5A CB	5	240	1.20	1175.0
57	7A CB	7	240	1.68	1638.0
58	20A MCCB	20	240	4.80	4750.4
59	5A CB	5	240	1.20	1175.0
60	7A CB	7	240	1.68	1638.0
61	20A MCCB	20	240	4.80	4750.4
62	5A CB	5	240	1.20	1175.0
63	7A CB	7	240	1.68	1638.0
64	20A MCCB	20	240	4.80	4750.4
65	5A CB	5	240	1.20	1175.0
66	7A CB	7	240	1.68	1638.0
67	20A MCCB	20	240	4.80	4750.4
68	5A CB	5	240	1.20	1175.0
69	7A CB	7	240	1.68	1638.0
70	20A MCCB	20	240	4.80	4750.4
71	5A CB	5	240	1.20	1175.0
72	7A CB	7	240	1.68	1638.0
73	20A MCCB	20	240	4.80	4750.4
74	5A CB	5	240	1.20	1175.0
75	7A CB	7	240	1.68	1638.0
76	20A MCCB	20	240	4.80	4750.4
77	5A CB	5	240	1.20	1175.0
78	7A CB	7	240	1.68	1638.0
79	20A MCCB	20	240	4.80	4750.4
80	5A CB	5	240	1.20	1175.0
81	7A CB	7	240	1.68	1638.0
82	20A MCCB	20	240	4.80	4750.4
83	5A CB	5	240	1.20	1175.0
84	7A CB	7	240	1.68	1638.0
85	20A MCCB	20	240	4.80	4750.4
86	5A CB	5	240	1.20	1175.0
87	7A CB	7	240	1.68	1638.0
88	20A MCCB	20	240	4.80	4750.4
89	5A CB	5	240	1.20	1175.0
90	7A CB	7	240	1.68	1638.0
91	20A MCCB	20	240	4.80	4750.4
92	5A CB	5	240	1.20	1175.0
93	7A CB	7	240	1.68	1638.0
94	20A MCCB	20	240	4.80	4750.4
95	5A CB	5	240	1.20	1175.0
96	7A CB	7	240	1.68	1638.0
97	20A MCCB	20	240	4.80	4750.4
98	5A CB	5	240	1.20	1175.0
99	7A CB	7	240	1.68	1638.0
100	20A MCCB	20	240	4.80	4750.4

NOTES:

1. AIRLASH/AMON 4000: MAX CURRENT FROM RATED CURRENT ON THE EQUIVALENT GRANT. MAX POWER CALCULATED FROM MAX CURRENT X 120
2. AIRSPAN RADIO: CONSUMPTION ACCOUNTE FOR IN RADIO CONSUMPTION

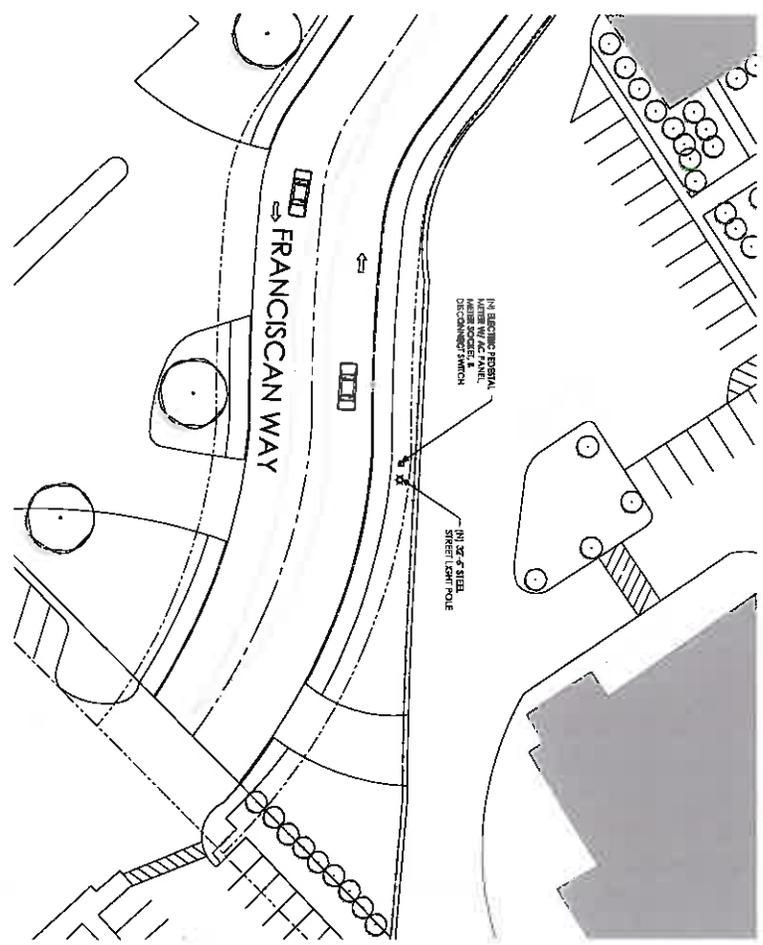
Approved Schedule of Airspan Radio and Jet Relay

NO.	TYPE	AMPS	VOLTS	KVA	WATTS
1	20A MCCB	20	240	4.80	4750.4
2	5A CB	5	240	1.20	1175.0
3	7A CB	7	240	1.68	1638.0
4	20A MCCB	20	240	4.80	4750.4
5	5A CB	5	240	1.20	1175.0
6	7A CB	7	240	1.68	1638.0
7	20A MCCB	20	240	4.80	4750.4
8	5A CB	5	240	1.20	1175.0
9	7A CB	7	240	1.68	1638.0
10	20A MCCB	20	240	4.80	4750.4
11	5A CB	5	240	1.20	1175.0
12	7A CB	7	240	1.68	1638.0
13	20A MCCB	20	240	4.80	4750.4
14	5A CB	5	240	1.20	1175.0
15	7A CB	7	240	1.68	1638.0
16	20A MCCB	20	240	4.80	4750.4
17	5A CB	5	240	1.20	1175.0
18	7A CB	7	240	1.68	1638.0
19	20A MCCB	20	240	4.80	4750.4
20	5A CB	5	240	1.20	1175.0
21	7A CB	7	240	1.68	1638.0
22	20A MCCB	20	240	4.80	4750.4
23	5A CB	5	240	1.20	1175.0
24	7A CB	7	240	1.68	1638.0
25	20A MCCB	20	240	4.80	4750.4
26	5A CB	5	240	1.20	1175.0
27	7A CB	7	240	1.68	1638.0
28	20A MCCB	20	240	4.80	4750.4
29	5A CB	5	240	1.20	1175.0
30	7A CB	7	240	1.68	1638.0
31	20A MCCB	20	240	4.80	4750.4
32	5A CB	5	240	1.20	1175.0
33	7A CB	7	240	1.68	1638.0
34	20A MCCB	20	240	4.80	4750.4
35	5A CB	5	240	1.20	1175.0
36	7A CB	7	240	1.68	1638.0
37	20A MCCB	20	240	4.80	4750.4
38	5A CB	5	240	1.20	1175.0
39	7A CB	7	240	1.68	1638.0
40	20A MCCB	20	240	4.80	4750.4
41	5A CB	5	240	1.20	1175.0
42	7A CB	7	240	1.68	1638.0
43	20A MCCB	20	240	4.80	4750.4
44	5A CB	5	240	1.20	1175.0
45	7A CB	7	240	1.68	1638.0
46	20A MCCB	20	240	4.80	4750.4
47	5A CB	5	240	1.20	1175.0
48	7A CB	7	240	1.68	1638.0
49	20A MCCB	20	240	4.80	4750.4
50	5A CB	5	240	1.20	1175.0
51	7A CB	7	240	1.68	1638.0
52	20A MCCB	20	240	4.80	4750.4
53	5A CB	5	240	1.20	1175.0
54	7A CB	7	240	1.68	1638.0
55	20A MCCB	20	240	4.80	4750.4
56	5A CB	5	240	1.20	1175.0
57	7A CB	7	240	1.68	1638.0
58	20A MCCB	20	240	4.80	4750.4
59	5A CB	5	240	1.20	1175.0
60	7A CB	7	240	1.68	1638.0
61	20A MCCB	20	240	4.80	4750.4
62	5A CB	5	240	1.20	1175.0
63	7A CB	7	240	1.68	1638.0
64	20A MCCB	20	240	4.80	4750.4
65	5A CB	5	240	1.20	1175.0
66	7A CB	7	240	1.68	1638.0
67	20A MCCB	20	240	4.80	4750.4
68	5A CB	5	240	1.20	1175.0
69	7A CB	7	240	1.68	1638.0
70	20A MCCB	20	240	4.80	4750.4
71	5A CB	5	240	1.20	

RECEIVED

CITY OF KING

POLE INFORMATION	
SITE NAME:	SF90XSX63D
INSTALLATION TYPE:	NEW POLE
NEW POLE TYPE:	NEW
AVI/LOSING:	34, 2565656-121, 139946
PROPOSED ATTACHMENT LENGTH:	
INSTALLATION TYPE:	TBD
RECORD POLE ID NUMBER:	TBD
RECORD POLE DIAL NUMBER:	TBD
REQUIRE RAC POCS ON EXISTING POLE:	TBD
LENGTH OF PROPOSED POWER POCS:	TBD
REQUIRED TO BRING POWER POCS TO SITE:	TBD
LV/LONG OF POWER POCS:	N/A
VISIBLE WIRED BACKHAUL OPTION:	FIBER DISTRIBUTION BOX
SPECIAL SITE NOTES:	



LEGEND	
☆	SITE POLE
⊙	FIRE HYDRANT
□	VAULT
→	TRAFFIC FLOW

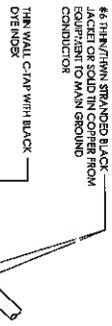
UNDERGROUND UTILITIES NOTE
 THE LOCATION AND EXISTENCE OF ANY UNDERGROUND PIPES, STRUCTURES OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EX. UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND EXISTENCE OF ALL UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THE PLAN.

UTILITY PLAN

UR2017-004

 <p style="font-size: 0.8em;">Intelligent Infrastructure</p> <p style="font-size: 0.8em;">MOBILITE, INC. 2858 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>	 <p style="font-size: 0.8em;">Mason Power Management, LLC 815 VINE, CA 94011 www.masonpowermanagement.com</p>	<p>PROJECT NO: 9CAB014274</p> <p>DRAWN BY: JSC/DJL/S</p> <p>CHECKED BY: BARNBS</p>	<p>DATE: 08/01/17</p> <p>REVISIONS:</p> <table border="1" style="width: 100%; font-size: 0.7em;"> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>ISSUED FOR PERMITS</td> </tr> <tr> <td>2</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> <tr> <td>3</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> </table>	NO.	DESCRIPTION	1	ISSUED FOR PERMITS	2	ISSUED FOR CONSTRUCTION	3	ISSUED FOR CONSTRUCTION
NO.	DESCRIPTION										
1	ISSUED FOR PERMITS										
2	ISSUED FOR CONSTRUCTION										
3	ISSUED FOR CONSTRUCTION										
<p style="font-size: 0.8em;">IT IS A WARRANTY OF THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THIS PLAN.</p>		<p style="font-size: 0.8em;">SITE NAME: 9CAB014274 SF90XSX63D 242 Franciscan Way, King City, CA 93930 Utility Light Pole</p>									
<p style="font-size: 0.8em;">SHEET TITLE: ELECTRICAL PLAN</p>		<p style="font-size: 0.8em;">SHEET NUMBER: E-2</p>									

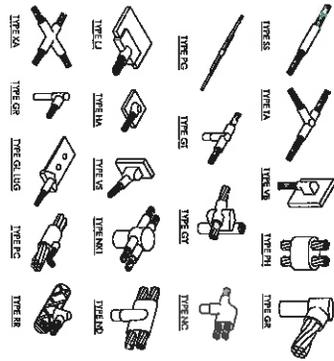
NOTE:
CONNECTION TO BE AROUND CORNER.
CONNECTION WITH HEAT-SHRINK TUBING TO ENSURE
WEATHER PROOF CONNECTION.



C-1AP DETAIL

SCALE
NOT TO SCALE 1

NOTE:
BRICQ BROTHERMAN MOLD TYPES SHOWN HERE ARE EXAMPLES. CONSULT
WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS
PROJECT.



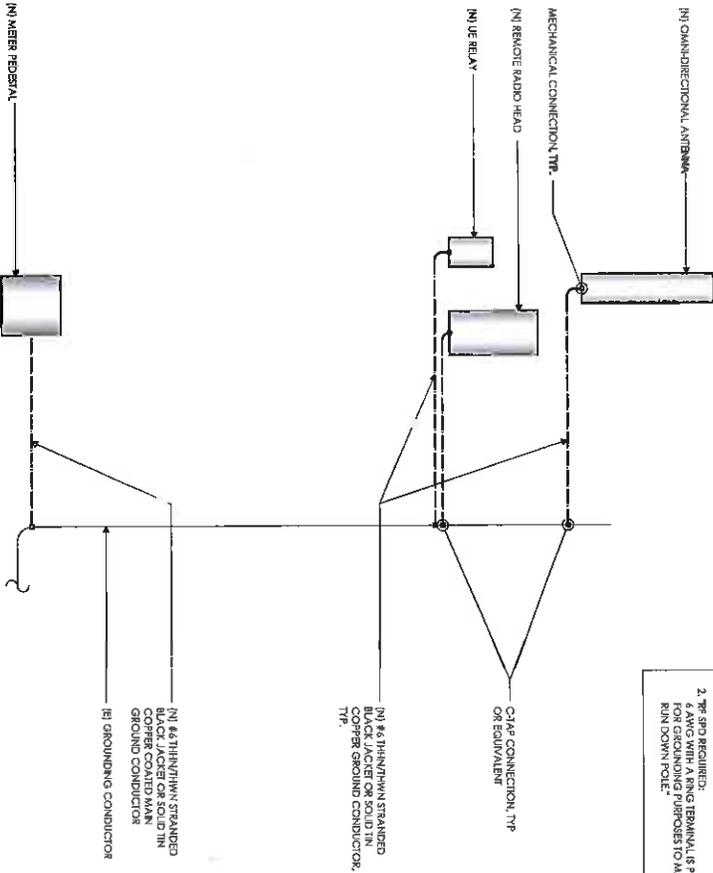
- GROUND BOND: ALL BONDS ARE TO BE MADE WITH #6 AVG STRANDED COPPER IN
GREATER SECTION. (INT-7-7416 7.6.7)
- EXTERIOR UNIT BONDS: ALL METALLIC OBJECTS SHALL BE BONDED TO THE GROUND
ROD. (INT-7-7416 7.12.4)
- GROUND ROD: USE COPPER CLAD STEEL GROUND ROD WITH MINIMUM DIAMETER
OF 3/4\"/>

AERIAL SITE LOCATION

SCALE
NOT TO SCALE 2

GROUNDING SCHEMATIC DETAIL

SCALE
NOT TO SCALE 3



- NOTES:
- ALL GROUND CONDUCTORS TO BE #6 THHN/THWN UNLESS OTHERWISE NOTED OR REQUIRED BY EQUIPMENT MANUFACTURER.
 - THE SPD REQUIRED: "2\"/>

RECEIVED

UR 2017-004

 <p>MOBILETTE, INC. SUITE 200 6037A MESA, CA 90229</p>	<p>Amazon Management, LLC P.O. Box 857 500 7th Avenue Seattle, WA 98109 www.amazon.com</p>	<p>PROJECT NO. 3CAB014274 DRAWN BY JSG/DRS CHECKED BY R3A/RUS</p>	<p>1. 6037A MESA, CALIFORNIA 2. 6037A MESA, CALIFORNIA 1. 6037A MESA, CALIFORNIA</p>
<p>SHEET TITLE GROUNDING DETAILS</p> <p>SHEET NUMBER G-1</p>	<p>SITE NAME 9CAB014274 SF90XSX63D 242 Franciscan Way, King City, CA 93930 Unity Light Pole</p>	<p>IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO REPRODUCE OR TRANSMIT THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE AUTHOR.</p>	

GENERAL CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST EDITION SHALL BE APPLIED, AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND LATEST EDITIONS OF ALL APPLICABLE CODES AND ORDINANCES.
3. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS PERTAINING TO THE PROJECT AND SHALL MAKE REVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL WORK, CITY DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN, PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR ARCHITECT/ENGINEER OR AWARDED BASED ON CLARITY OR KNOWLEDGE OF FIELD CONDITIONS.
4. IF IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MAJOR DETAIL OF CONSTRUCTION, CONTRACTOR IS REQUIRED TO FURNISH AND INSTALL ANY DETAIL FOR A COMPLETE AND ACCURATE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ANY DETAIL NOT SHOWN IN THESE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES FROM ANY DAMAGE DURING THE COURSE OF WORK.
5. PLANS ARE NOT TO BE RECALLED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS AS INDICATED ON THE DRAWINGS. OWNER PROVIDED MATERIALS WILL INCLUDE THOSE ITEMS LISTED IN THE EQUIPMENT DETAILS SECTION OF THESE DRAWINGS UNLESS OTHERWISE SPECIFIED OR PROVIDED TO THE CONTRACTOR IN WRITING PRIOR TO CONSTRUCTION START.
6. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING MEMBERS EQUIPMENT IS REQUIRED CLEANANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY CONDITIONS SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND/OR DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
7. DETAILS PROVIDED ARE FOR THE PURPOSE OF SHOWING DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT. JOB DIMENSIONS OR SITE CONDITIONS, AND SUCH MODIFICATIONS SHALL BE REQUIRED AS PART OF THE WORK.
8. CONTRACTOR SHALL PAY FOR APPLICABLE PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO COMMENCING MATERIALS AND THE COMMENCEMENT OF WORK.
9. THE TERM "WORK" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.
10. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR DESCRIBED BY THE CONTRACT DOCUMENTS.
11. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING ACCEPTED INDUSTRY STANDARD SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA. A DANGER AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
13. CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MOBILE TECH AND SCHEDULE THEIR ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE WORK OF OTHERS THAT MAY RELATE TO MAJOR EQUIPMENT, UTILITIES AND ANY OTHER PORTIONS OF THE WORK.
15. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
16. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE SURFACES, EQUIPMENT, IMPROVEMENTS, PAVING ETC., AND MAKE REPAIRS TO THE SAME. DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
17. IN DRILLING HOLES, OR CORING, INTO CONCRETE WHETHER FOR PAVING OR REPAIRS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, PERMITS, ETC. MUST BE CLEARLY UNDERSTOOD THAT REINFORCING STEEL SHALL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES UNLESS NOTED OTHERWISE. LOCATIONS OF REINFORCING STEEL ARE NOT DENIABLELY KNOWN AND THEREFORE MUST BE LOCATED BY THE CONTRACTOR USING APPROPRIATE METHODS AND EQUIPMENT PRIOR TO ANY DRILLING OR CORING OPERATIONS IN REINFORCED CONCRETE.
18. CONTRACTOR SHALL REPAIR, TO NEW CONDITION, ALL REINFORCING DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
19. CONTRACTOR SHALL SET ALL PENETRATIONS THROUGH REE RATED ASSEMBLIES OR MATERIALS WITH U/L LISTED AND FIRE CODE APPROVED MATERIALS AND SYSTEMS THAT MEET OR EXCEED THE RATING OF THE ASSEMBLY IN WHICH THE NEW PENETRATION IS PLACED.
20. CONTRACTOR SHALL KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, OILS, AND RUBBER. EQUIPMENT NOT SPECIFIED AS REMAINING IN PLACE OR FROM THE PROJECT SHALL BE REMOVED FROM THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, INSPECTIONS AND TESTING.
21. MINIMUM BEND RADIUS OF ANY BARS, CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS RECOMMENDATIONS.
22. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING CONSTRUCTION, EXISTING UTILITIES, AND OTHERS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, INSPECTIONS AND TESTING.
23. ALL CONSTRUCTION WORK IS TO ADHERE TO APPLICANTS INTEGRATED CONSTRUCTION STANDARDS UNLESS STATE OR LOCAL CODES MORE STRINGENT.
24. THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO REPRODUCE THE CONSTRUCTION IN ACCORDANCE WITH THE STATE BUILDING STANDARDS CODE AND STATE CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE APPROVED PLANS AND SPECIFICATIONS, A SCOPE OF WORK DEMANDING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, INSPECTIONS AND TESTING.
25. ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
26. CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE. ANY CORRECTIVE WORK SHALL BE COMPLETED AT THE SOLE COST OF THE CONTRACTOR.

ELECTRICAL NOTES:

1. ELECTRICAL CONTRACTOR SHALL VERIFY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND ORDINANCES. IF ANY PROBLEMS ARE ENCOUNTERED BY CONTRACTOR WITH THESE REQUIREMENTS, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, INSPECTIONS AND TESTING.
2. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS PERTAINING TO THE PROJECT AND SHALL MAKE REVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL WORK, CITY DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN, PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR ARCHITECT/ENGINEER OR AWARDED BASED ON CLARITY OR KNOWLEDGE OF FIELD CONDITIONS.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC, ALL CODES AND ORDINANCES OF THE LOCAL JURISDICTION, AND POWER AND TELEPHONE COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT NOT BE LIMITED TO:
 - A) I.L. - UNDERWRITERS LABORATORIES
 - B) NEC - NATIONAL ELECTRICAL CODE
 - C) NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 - D) OSHA - OCCUPATIONAL SAFETY AND HEALTH ACT
 - E) IBC - STANDARD BUILDING CODE
 - F) NFPA - NATIONAL FIRE PROTECTION AGENCY
 - G) ANSI - AMERICAN NATIONAL STANDARDS INSTITUTE
 - H) IEEE - INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
 - I) ASTM - AMERICAN SOCIETY FOR TESTING MATERIALS
4. REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFORM WITH MOBILITY CM, ANY SIZES AND LOCATIONS WHEN NEEDED.
5. SERVICES: CONTRACTOR SHALL NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
6. CONTRACTOR SHALL CONFORM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS: SHIELDING, MINIMUM CLEARANCE, BURIAL, SIZE OF MAINS, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, INSPECTIONS AND TESTING.
7. MATERIALS WHERE SIZE SHALL BE #12 AWG, NOT INCLUDING CONDUIT, WIRING, INSULATION, UNLESS OTHERWISE NOTED.
8. GULF BOXES SHALL BE PRECAST STEEL IN DRY LOCATIONS, CAST ALLOY WITH REINFORCED CONCRETE IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASIFIED AREAS.
9. IF IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MAJOR DETAIL OF THE CONSTRUCTION, CONTRACTOR IS DIRECTED TO FURNISH AND INSTALL ALL DETAILS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PROVIDED IN PROPER WORKING ORDER.
10. ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFICIENTLY GROUNDED, AS REQUIRED BY SPECIFICATIONS, SET FORTH BY APPLICANT.
11. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN FULLY EDUCATIONAL AND SHALL BE APPROVED BY THE MOBILITY CM AND LOCAL JURISDICTION. ANY DEFICIENCIES SHALL BE CORRECTED BY AN ELECTRICAL CONTRACTOR AT THE SOLE COST OF THE CONTRACTOR.
12. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.

RECEIVED

OFFICE OF THE

09/20/17-004

 <p>MOBLITE INC. 2955 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>	 <p>Mobilette Management LLC 1500 S. GATEWAY COSTA MESA, CA 92626 www.mobilettemanagement.com</p>	<p>PROJECT NO: 92AB014274</p> <p>DRAWN BY: JACOB BLISS</p> <p>CHECKED BY: BLANKS</p>	<p>IF THIS DOCUMENT OR THE WORK THEREON IS TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE, THE USER SHALL OBTAIN THE WRITTEN PERMISSION OF THE ARCHITECT/ENGINEER.</p> <p>SHEET NUMBER GN-1</p>
<p>SHEET TITLE GENERAL NOTES</p>		<p>92AB014274 SFP0XS63SD 242 Hranckson Way, King City, CA 93950 Utility Light Pole</p>	

DIMENSIONS		FEET
A (Distance Between Signs)	100	100
B (Distance Between Signs)	100	100
C (Distance Between Signs)	100	100
Maximum Taper Channelizing Device Spacing	23	23
Maximum Tangent Channelizing Device Spacing	50	50

Speed (MPH)	Spacing (ft.)			
	A	B	C	D
40 or less	200	200	200	100
41 to 49	350	350	350	175
50 to 54	500	500	500	250
55 or greater	2440	1640	1000	500

- * "ROAD WORK 1 MILE" sign may be used as an alternate to the "ROAD WORK AHEAD" sign
- ** 500' beyond the "ROAD WORK AHEAD" sign or midway between signs, whichever is less
- *** "BE PREPARED TO STOP" sign may be omitted for speeds of 45 MPH or less

LEGEND

- CHANNELIZING DEVICE
- SIGN
- WORK SPACE
- FLAGGER
- DIRECTION OF TRAFFIC

1. Work operations shall be confined to one traffic lane, leaving the opposite lane open to traffic.
2. Additional one-way control may be effected by the following means:
 - Flag-carrying vehicle
 - Official vehicle
 - Pilot vehicle
 - Traffic signal
3. The "ONE LANE ROAD" signs are to be fully covered and the "FLAGGER" signs either removed or fully covered when no work is being performed and the roadway is open to two-way traffic.
4. When a side road intersects the roadway within the TTC zone, additional TTC devices shall be placed in accordance with applicable TTC indexes.
5. The two channelizing devices directly in front of the work

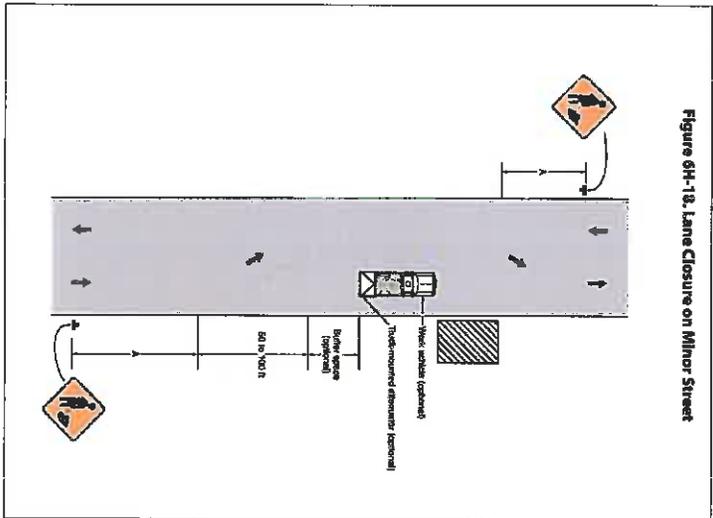


Figure 6H-18. Lane Closure on Minor Street

GENERAL NOTES

1. area and the one channelizing device directly at the end of the work area may be omitted provided vehicles in the work area have high-intensity rotating, flashing, oscillating, or strobe lights operating.
2. For general TTC requirements and additional information, refer to MUTCD.

DURATION NOTES

1. "ROAD WORK AHEAD" and the "BE PREPARED TO STOP" signs may be omitted if all of the following conditions are met:
 - a. Work operations are 60 minutes or less
 - b. Speed limit is 45 MPH or less
 - c. No sight obstructions to vehicles approaching the work area for a distance equal to the buffer space
 - d. Vehicles in the work area have high-intensity, rotating, flashing, oscillating, or strobe lights operating
 - e. Volume and complexity of the roadway has been considered

CONDITIONS

WHERE ANY VEHICLE EQUIPMENT, WORKERS OR OTHER ACTIVITIES ENCRoACH THE AREA BETWEEN THE CENTERLINE AND A LINE 2' OUTSIDE THE EDGE OF TRAVEL WAY

Speed (MPH)	Distance (ft.)
25	150
30	200
35	250
40	305
45	360
50	425
55	495
60	570
65	645
70	730

When Buffer Space cannot be obtained due to geometric constraints, the greatest allowable length shall be used, but not less than 200 ft.



CITY OF KING

URP2017-004

<p>AMERICAN MANAGEMENT, LLC By: [Signature] 707.272.2974 www.americanmanagement.com</p>	<p>PROJECT NO: SCAB014274 DRAWING BY: J.GODOLUS CHECKED BY: [Signature]</p>	<p>MOBILITE, INC. 2855 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>
<p>99 CAB014274 SF90SX63D 242 Franciscan Way, King City, CA 93930 Utility Light Pole</p>	<p>SHEET TITLE VEHICLE TRAFFIC CONTROL PLAN</p>	<p>SHEET NUMBER TC-1</p>

EXHIBIT 5

Site ID: 9CAB014274

Radio Frequency- Electromagnetic Energy-EME Measurements & Compliance Report

Site ID: 9CAB014274
Site Name: 9CAB014274D
Market/Region: CA
Address: 300 Canal St.
King City, CA 93930
Latitude: 36.205456
Longitude: -121.133448
Site Type: New Pole



Compliance Status:

Proposed equipment at the site is compliant with FCC guidelines for General Population environments

Prepared for:
Mobilite, LLC
2220 University Drive,
Newport Beach, CA 92660

By
ATG LLC

Date:03/31/2017



CUP2017-004

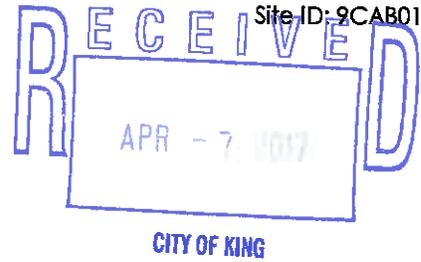


TABLE OF CONTENT

1 EXECUTIVE SUMMARY..... 3

2 MAXIMUM PERMISSIBLE EXPOSURE (MPE) MODELING RESULTS FOR PROPOSED SITE..... 3

3 ANTENNA INVENTORY 4

4 MODELING SUMMARY AND ASSUMPTIONS 4

 4.1 GENERAL MODEL ASSUMPTIONS 4

5 PREPARER CERTIFICATION 5

APPENDIX A..... 6

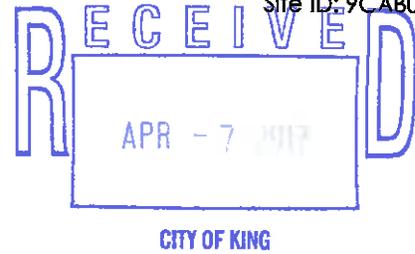
FEDERAL COMMUNICATIONS COMMISSION (FCC) REQUIREMENTS..... 6

APPENDIX B..... 9

GLOSSARY OF TERMS..... 9

APPENDIX C 10

ROOFVIEW EXPORT FILE..... 10



1 Executive Summary

Purpose of Report

ATG LLC's RF Engineering has conducted radio frequency electromagnetic energy (RF-EME) modeling for Mobilitie LLC's site 9CAB014274 located at 300 Canal St. King City, CA 93930 to determine RF-EME exposure levels from the carrier's proposed wireless communications equipment.

The Federal Communications Commission (FCC) has developed Maximum Permissible Exposure (MPE) limits for general public and occupational exposures to RF-EME. This report summarizes the results of RF-EME modeling in relation to relevant FCC compliance standards for limiting human exposure to RF-EME. The details of FCC defined exposure limits are provided in Appendix A of this report.

Analysis results included in this report are based on drawings dated Feb 8th, 2017.

Statement of Compliance

Predictive modeling conducted using the original equipment manufacturers (OEMs) specifications for radio and antenna performance along with the supplied construction drawings dated Feb 8th, 2017, indicate there will be no exposure due to the carrier's proposed equipment on accessible ground-level walking surface at this site that exceeds the FCC's general public exposure limits.

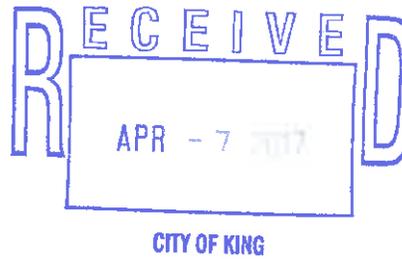
Proposed equipment at the site is compliant with FCC guidelines for general population environments.

2 Maximum Permissible Exposure (MPE) Modeling Results for Proposed Site

The predictive modeling was conducted using the RoofView 5.0 suite of analysis tools. The modeling was conducted with the antennas operating at 100% capacity, all antenna channels transmitting simultaneously and the radio transmitters operating at full power. Obstructions (trees, buildings etc.) that would normally attenuate the signal are not taken into account. As a result, the predicted signal levels are more conservative (higher) than the actual signal levels would be during normal operations. The modeling calculations were made for an area 40'x 40' area with the equipment at the center.

Table 1: Maximum Permissible Exposure- Summary

Location	% of FCC General Public/Uncontrolled Exposure Limit	% of FCC Occupational/Controlled Exposure Limit	Power Density (mW/cm ²)	Compliance Status
6ft above ground level	1.7	0.3	0.017	Compliant



3 Antenna Inventory

The Antenna Inventory shows all transmitting antennas on the site (see Table 2). This inventory was used by ATG to perform the software modeling of RF emissions. The inventory conforms with the submitted construction drawings which identifies the proposed mounting location of each antenna at the site. The exposure level is calculated for a person of height 6ft standing right below the devices at ground level.

Table 2: Antenna Inventory

Antenna ID	Carrier/Operator	Antenna Type	Frequency (MHz)	Technology	ERP (W)	Gain dBd	Mfg.	Model	Aperture (ft.)	Transmitter count	Horizontal BeamWidth (deg)	Z (6 ft. above Ground)
1	Mobilitie	Omni	2496	LTE	172.58	6.35	Alpha Wireless	AW3477-S	2.5	2	360	31.4
2	Mobilitie	LTE Relay BH	2496	LTE	30.9	9.85	Airspan	iR460	1.1	1	35	16.0

The table below details the operating power and Effective Radiated Power (ERP) for each carrier and frequency used in the modeling.

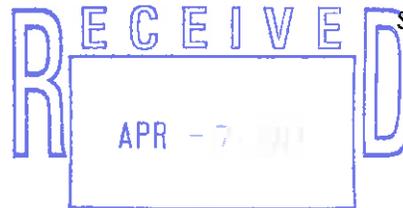
Frequency (MHz)	Power per Transmitter (Watts)	# of Transmitters	ERP (watts)
2496 (Omni)	20	2	172.58
2496 (UE Relay)	3.2	1	30.9

4 Modeling Summary and Assumptions

4.1 General Model Assumptions

The modeling was conducted using the antenna and radio maximum power values, while operating at full power with 100% duty cycle.

The site has been modeled with these assumptions to calculate the maximum RF energy density. ATG believes this to be a worst case analysis, based on data supplied by the OEMs and client. If actual power density measurements were made, ATG believes the real time measurements would indicate levels below those shown in the report.



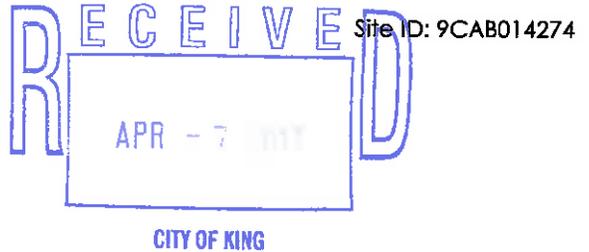
5 Preparer Certification

I, Preparer, state that:

- I am an employee of ATG LLC that provides RF-EME safety and compliance services to the wireless communications industry.
- I have successfully completed 100s of RF-EME exposure studies and reports for various carriers.
- I am aware of the potential hazards from RF-EME exposures that would be classified "occupational" or "general public" under the FCC regulations.
- I am familiar with the FCC rules and regulations as well as OSHA regulations both in general and as they apply to RF-EME exposure.
- I have reviewed all the data related to the site and incorporated it into this study and Compliance Report such that the information contained in this report is true and accurate to the best of my knowledge.

David J. Semsarha

David Semsarha (RF Engineer)



Appendix A

Federal Communications Commission (FCC) Requirements

This appendix summarizes the policies, guidelines and requirements that were adopted by the FCC on August 1, 1996, amending Part 1 of Title 47 of the Code of Federal Regulations, and further amended by action of the Commission on August 25, 1997 (see 47 CFR Sections 1.1307(b), 1.1310, 2.1091 and 2.1093, as amended). Commission actions granting construction permits, licenses to transmit or renewals thereof, equipment authorizations or modifications in existing facilities, require the preparation of an Environmental Assessment (EA), as described in 47 CFR Section 1.1311, if the particular facility, operation or transmitter would cause human exposure to levels of radiofrequency (RF) electromagnetic fields in excess of these limits.

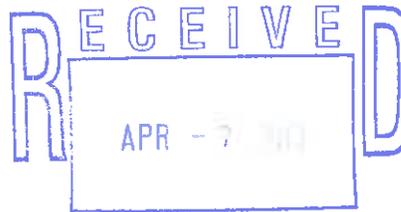
The potential hazard associated with the RF electromagnetic fields is discussed in OET Bulletin No. 65. This document can be obtained on the FCC website. (https://transition.fcc.gov/Bureaus/Engineering_Technology/Documents/bulletins/oet65/oet65.pdf)

As per FCC guidelines there are two separate tiers of exposure limits that are based upon occupational/controlled exposure limits (for workers) and general public/uncontrolled exposure limits for members of the general public.

Occupational/controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Limits for occupational/controlled exposure also apply in situations when an individual is transient through a location where occupational/controlled limits apply provided he or she is made aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means

General public/uncontrolled exposure limits apply to situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment and not be made fully aware of the potential for exposure or cannot exercise control over their exposure.

The FCC's MPE limits for field strength and power density are given in Table 1 (and in 47 CFR § 1.1310) Figure 1 is a graphical representation of the limits for plane-wave (far-field) equivalent power density versus frequency. The FCC's limits are generally applicable to all facilities, operations and transmitters regulated by the Commission, and compliance is expected with the appropriate guidelines. The power density limits vary by frequency to take into account the different types of equipment that may be in operation at a particular facility and are "time-averaged" limits to reflect different durations resulting from controlled and uncontrolled exposures.



CITY OF KING

(A) Limits for Occupational/Controlled Exposure

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time (E ² , H ² or S) (minutes)
0.3-3.0	614	1.63	(100)*	6
3.0-30	1842/f	4.89/f	(900/f ²)*	6
30-300	61.4	0.163	1.0	6
300-1500	--	--	f/300	6
1500-100,000	--	--	5	6

(B) Limits for General Population/Uncontrolled Exposure

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time (E ² , H ² or S) (minutes)
0.3-1.34	614	1.63	(100)*	30
1.34-30	824/f	2.19/f	(180/f ²)*	30
30-300	27.5	0.073	0.2	30
300-1500	--	--	f/1500	30
1500-100,000	--	--	1.0	30

f = frequency in MHz

*Plane-wave equivalent power density

f = frequency in MHz *Plane-wave equivalent power density

Table 1

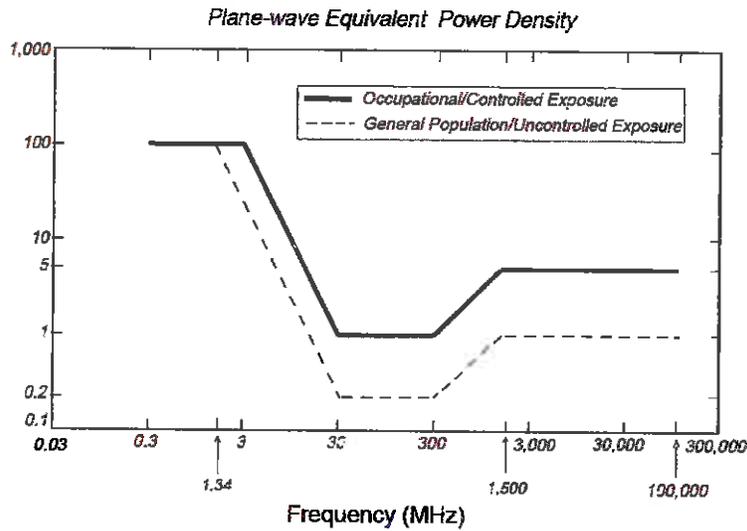


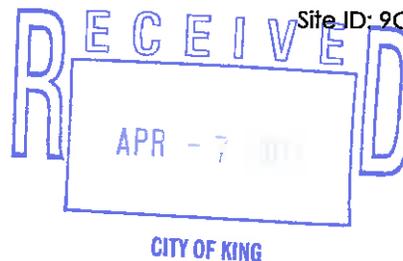
Figure 1. FCC Limits for Maximum Permissible Exposure (MPE)

The above mentioned FCC guidelines define MPE limits that are designed to provide substantial margin of safety for continuous exposure of all persons regardless of gender, age, size or health.

FCC Compliance Requirement

In general, as specified in 47 C.F.R. 1.1307(b), as amended, when the FCC's guidelines are exceeded in an accessible area due to the emissions from multiple fixed transmitters the following policy applies. Actions necessary to bring the area into compliance with the guidelines are the shared responsibility of all licensees whose transmitter's contribution to the RF environment at the non-complying area exceeds 5% of the exposure limit (that applies to their particular transmitter) in terms of power density or the square of the electric or magnetic field strength.

For non-compliant sites, Occupational Safety and Health Administration (OSHA) set recommendations to make the sites compliant. The document can be found in the link: https://www.osha.gov/dte/library/radiation/nir_stds_20021011/nir_stds_20021011.ppt



Appendix B

Glossary of Terms

1. *Electromagnetic Field (energy density)* – the electromagnetic energy contained in an infinitesimal volume divided by that volume.
2. *Exposure* – Exposure occurs whenever and wherever a person is subjected to electric, magnetic or electromagnetic fields other than those originating from physiological processes in the body and other natural phenomena.
3. *General Population / Uncontrolled Exposure* – applies to human exposure to RF fields when the general public is exposed or in which persons who are exposed as a consequence of their employment may not be made fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public always fall under this category when exposure is not employment-related.
4. *Maximum Permissible Exposure (MPE)* – the rms and peak electric and magnetic field strength, their squares, or the plane-wave equivalent power densities associated with these fields to which a person may be exposed without harmful effect and with an acceptable safety factor.
5. *Occupational / Controlled Exposure* – applies to human exposure to RF fields when persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled exposure limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general population/controlled limits.
6. *Power Density (S)* – Power per unit area normal to the direction of propagation, usually expressed in units of watts per square meter (W/m^2) or, for convenience, units such as milliwatts per square centimeter (mW/cm^2) or microwatts per square centimeter ($\mu W/cm^2$).



Appendix C

RoofView Export File

The below file shows the Antenna information that has been used to calculate the MPE levels using RoofView 5. RoofView is a powerful, Excel based software analysis tool for evaluating radiofrequency (RF) field levels at telecommunications sites that are produced by antennas of the type commonly used in the cellular, paging, SMR, PCS and conventional two-way radio communication services

Roof Max Y	Roof Max X	Map Max Y	Map Max X	Y Offset	X Offset	Number of envelope																		
100	100	200	200	0	0	1	\$K\$121:\$D \$K\$121:\$D\$220																	
Standard	Method	Uptime	Scale	PctLo	Low Thr	Low Color	Mid Thr	Mid Color	Hi Thr	Hi Color	Over Color	Ap. Ht.	U. Ht.	Ap. Ht. Method										
4		1	4	1	5	1	500	5	5000	6	6	6	1.5	1										
ID	Name	Freq	Power	Count	Coax Len	Coax Type	Other Loss	Input Power	Calc Power	Mfg	Model	(ft) X	(ft) Y	(ft) Z	Type	(ft) Aper	dBd Gain	BWdth Pt Dir	Uptime Profile	ON flag				
1	Mobile	2495						40	40	Alpha Wire	AMB477-S	20	20	31.4	VC		2.5	6.85	360	ON				
2	Mobile	2495						3.2	3.2	Allspan	88450	20	20	16	VC		1.1	9.85	35	ON				
Sym	Map Marker	Roof X	Roof Y	Map Label	Description (notes for this table only)																			



Item No. 8(C)

REPORT TO THE PLANNING COMMISSION

DATE: JULY 18, 2017

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: DOREEN LIBERTO, AICP, COMMUNITY DEVELOPMENT DIRECTOR

BY: MARICRUZ AGUILAR, ASSISTANT PLANNER

RE: CONSIDERATION OF CONDITIONAL USE PERMIT CASE NO. CUP2016-004 FOR CONSTRUCTION OF A NEW SMALL CELL SITE WITHIN THE EXISTING PUBLIC RIGHT-OF-WAY ALONG ELLIS STREET.

RECOMMENDATION:

It is recommended Planning Commission adopt the attached Resolution No. 2017-183, which finds the project Categorically Exempt from CEQA and approves Conditional Use Permit Case No. CUP2016-004, subject to the attached Conditions of Approval.

BACKGROUND:

Mobilitie, LLC is a Competitive Local Exchange Carrier ("**CLEC**") regulated by the California Public Utilities Commission and has obtained a Certificate of Public Convenience and Necessity ("**CPCN**") from the California Public Utility Commission ("**CPUC**"). Mobilitie, LLC is undergoing nationwide efforts needed to meet the demands of wireless coverage and prepare for the future wireless technology.

David Downs, Mobilitie, LLC ("**Applicant**") submitted a use permit application to construct a new small cell site which includes a thirty-two (32') feet high steel light pole with a two plus (2'.45") foot high cell antenna mounted directly on top of the light pole; the total height of the light pole with the antenna is thirty-six (36') feet. The project also includes a four (4') foot tall pedestal meter located within five (5') feet from the light pole within the public right-of-way along Franciscan Way.

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-004
JULY 18, 2017
PAGE 2 OF 17**

Location: Latitude/Longitude: 36.213680/-121.129431
Nearest Address: 411 Ellis Street
Nearest Cross Streets: Ellis Street and N. Vanderhurst Avenue

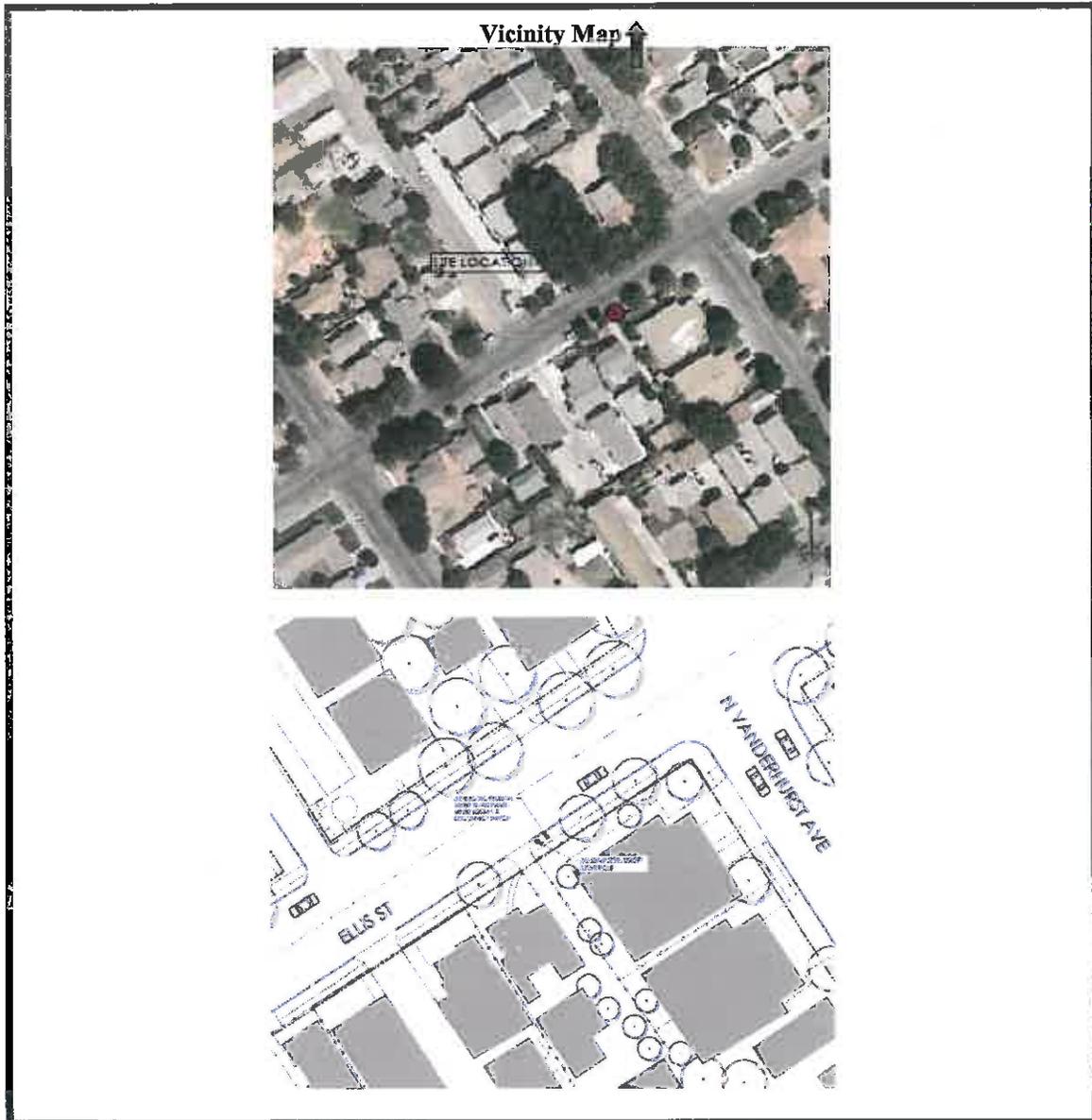
The purpose of the project is to enhance the quality of wireless coverage to the area. The new utility pole with antennas and equipment will allow for the offsetting capacity from other existing wireless facilities. The installation of these antennas is to deliver capacity and speed to dense areas. The Radio Frequency (“RF”) Emissions Report prepared by ATG, LLC., and dated March 31, 2017 stated that the proposed exposure does not exceed the FCC’s general public exposure limits and that the proposed site is compliant with FCC guidelines.

The Applicant is also proposing to install a new small cell site at two (2) other sites within the City’s public right-of-way for a total of three (3) sites within the City. All three sites will be using the same light standard to match the existing surrounding light poles and use a pedestal meter to lessen the visual impact of having equipment projected out of the poles.

DISCUSSION:

The Applicant requests a Conditional Use Permit for the construction of a new cell site within the public right-of-way. The project involves installing a new light pole with an OMNI Directional Antenna installed directly on top of the pole on the public street right-of-way. The associated equipment is proposed to be installed within a pedestal meter located within five (5’) feet away from the pole. The total height of the pole and antenna would reach up to thirty-six (36’) feet in height. The project is located on the public right-of-way on Ellis Street (Latitude/Longitude: 36.213680/-121.129431).

Per the City Municipal Code §17.48.070, Exceptions to height limits, a Conditional Use Permit is required for poles and towers exceeding height limits. The proposed pole would be a total of thirty-six (36’) foot in height and the standard street light height limit is thirty-seven (37’) feet per the Design Standards and Specifications of the Public Works Department.

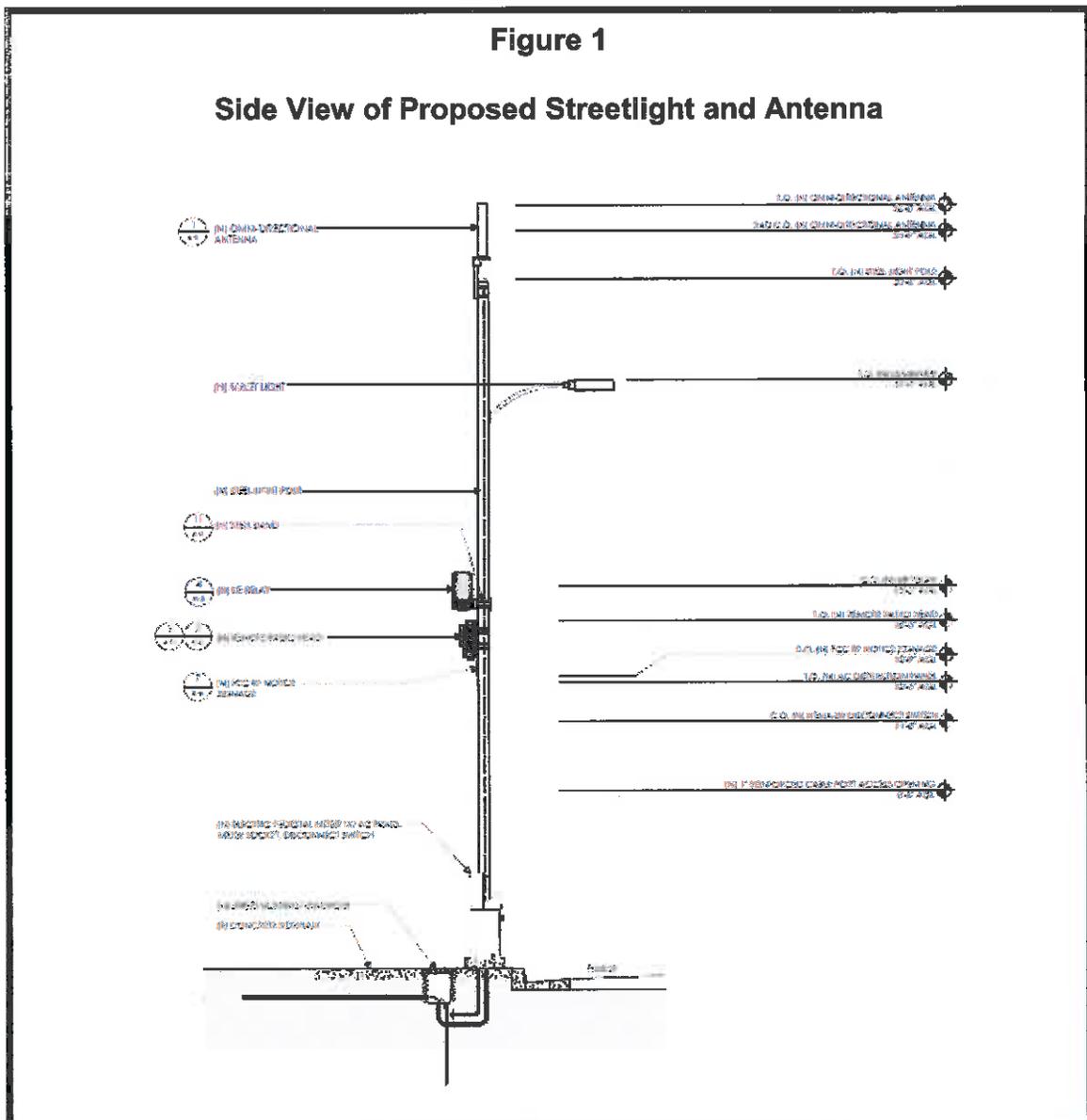


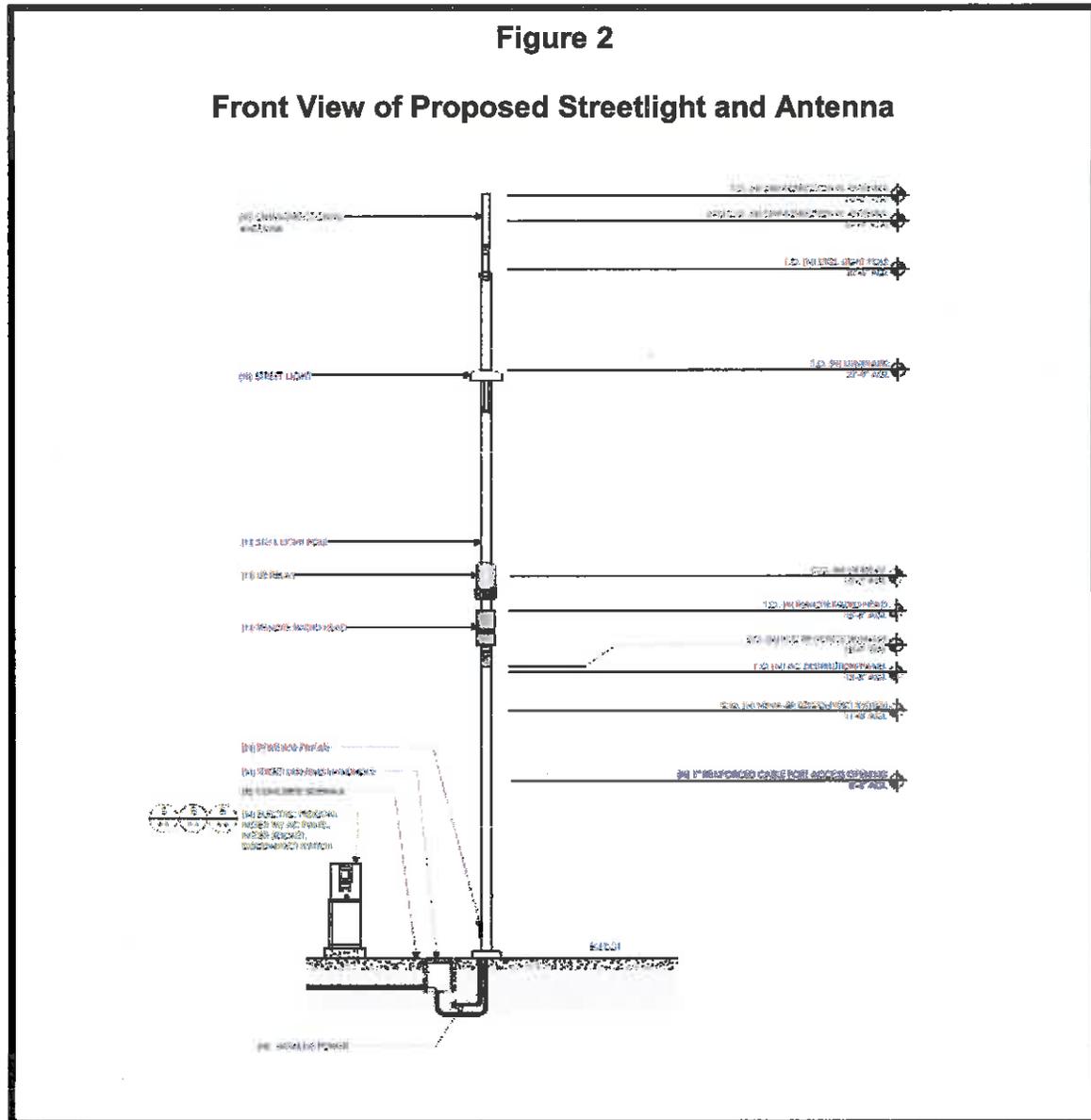
Analysis

Location: The proposed site is located within the public right-of-way along Latitude/Longitude: 36.213680/-121.129431. Nearest address is 411 Ellis Street. Nearest Cross Streets: Ellis Street and N. Vanderhurst Avenue. The Project Review Committee ("**PRC**") has reviewed and provided the following recommendations:

Height & Material

The Applicant is proposing to match the City's streetlight standard. The City's streetlight standard as shown in the Standard Detail #49 of the Design Standards & Standard Specifications is an embedded steel pole thirty-seven (37') feet tall with an eight (8') feet arm length pole with a street lamp. The Applicant will be installing a thirty-six (36') feet tall steel pole with an eight (8') foot arm length pole with a street lamp. The antenna to be installed directly mounted on top of the pole. The pedestal meter is proposed to be within five (5') feet away from the pole and four (4') feet (48 inches in height x 16 inches in width) as shown on **Figure 1 and 2.**





Maintenance

The Applicant will be responsible for maintenance of the pole, antenna, equipment, and streetlight on the public right-of-way and provide the Public Works Department with a contact person to inform of any needed maintenance. The pole would be owned and operated by Mobilitie, LLC. The City would like to have the option of having a security camera and signage installed, if needed, as part of the citywide security camera system. The City would be responsible in maintaining the security camera but would need access to the pole, if needed. **(Reference COA No. 13).**

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-004
JULY 18, 2017
PAGE 6 OF 17**

Traffic

The Applicant only anticipates traffic being impacted during the construction phase. The construction phase is estimated to last three (3) days from 9AM – 3PM. The applicant will assure proper traffic control measures are taken. The Applicant will need to submit an encroachment permit, prior to the installation of the light pole. (**Reference COA No. 11**).

Advantages

The project would enhance the quality of communications for residents and commuters in the surrounding area. The project will help meet the growing demand for high-speed data.

Disadvantages

The Applicant has amended the project to lessen the visual impact by using a street light standard for the pole and using a pedestal meter for the equipment rather than installing the equipment onto the pole. No disadvantages are known at this time.

Public Notification and Input

A Public Hearing Notice was published in the South County Newspaper *The Rustler* on July 5, 2017 and all property owners of record within three hundred (300') feet radius of the subject site were notified of the public hearing and invited to voice any concerns on this application. As of the date of the preparation of this staff report no written testimony has been received by the City. A public hearing will be conducted on July 18, 2017.

COST ANALYSIS:

Development Review Projects are based on times and materials. The Applicant has submitted a minimum fee per City Fee Schedule and the Applicant is responsible in payment of processing the CUP. Any additional permits required such as a building permit or encroachment permit will be subject to applicable fees.

ENVIRONMENTAL REVIEW:

The project is located within the right-of-way along Ellis Street. The table below identifies the surrounding land use and zoning districts.

Table 1 - Adjacent Zoning/Land Use			
North:	Multiple Family Residential (R-4) Zoning District High Density Residential (HDR) Land Use Designation	East:	Multiple Family Residential (R-4) Zoning District High Density Residential (HDR) Land Use Designation
West:	Multiple Family Residential (R-4) Zoning District High Density Residential (HDR) Land Use Designation	South:	Multiple Family Residential (R-4) Zoning District High Density Residential (HDR) Land Use Designation

The project is consistent with the City's General Plan per Objective 7.1, Program 7.1.1.2 The City shall work with utility providers to identify future utility expansion needs, obtain easements from property owners to extend private utilities, and promote cooperation between utility providers and property owners for the purpose of acquiring easements or rights-of-way for utility expansions. Also, per Program 7.1.1.3, through the design review process, condition new public and quasi-public service facilities to be visually compatible with the City's desired character and surrounding land uses. Also, per Program 7.1.1.3, through the design review process, condition new public and quasi-public service facilities to be visually compatible with the City's desired character and surrounding land uses. The Applicant has modified the project to mitigate any visual impacts within the residential areas as required per Residential Land Use Goal 2.2 Policy 2.2.1, The City shall discourage new land use activities within and in close proximity to residential areas that generate undesirable impacts that cannot be mitigated. The Applicant is proposing a streetlight standard to match the City's standards to mitigate visual impacts.

The project as proposed will be installed on the City's public right-of-way and will be built to be visually compatible to the surrounding area by following the design of the City's streetlights. The pole will be a standard street light design and the antenna and equipment will be painted to match the pole and lessen any visual impact to pedestrians. A condition has been placed for an encroachment permit from the Public Works Department and to enter into a maintenance agreement with the City for the use of adding security cameras and signage.

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-004
JULY 18, 2017
PAGE 8 OF 17**

The project is not anticipated to create any negative impacts to the surrounding land uses. The project as proposed meets the Federal Communications Commission ("**FCC**") for radio frequency ("**RF**") emissions as described in the compliance report dated March 31, 2017 prepared by ATG, LLC., to be less than one-percent (1%) of controlled exposure limits as allowed by FCC at six (6') feet above ground level. This is in compliant with FCC guidelines.

The project is Categorically Exempt pursuant to CEQA per Section 15303 New Construction or Conversion of Small Structures Class 3 (b).

PROJECT REVIEW COMMITTEE COMMENTS AND REVIEW AND REVIEW BY AGENCIES:

A representative from each City Department meets to discuss most community development projects. This group operates as the City's staff advisory team, which is referred to as the Project Review Committee ("**PRC**"). PRC provides comments to the Applicants and conditions of approval ("**COA**") before a project goes to the Planning Commission. No major issues regarding the project arose during the meeting of the PRC. Comments from PRC are incorporated throughout the staff report and their recommendations are incorporated in the attached COA. Comments in this Staff Report reflect comments made by City Staff.

ALTERNATIVES:

The following alternatives are provided for Planning Commission consideration:

1. Adopt Resolution No. 2017-183, which approves CUP2016-004 subject to Conditions of Approval and finds the project Categorically Exempt from CEQA;
2. Make recommendations for modification as deemed appropriate by the Planning Commission; or
3. Provide other direction to staff.

Exhibits:

1. Findings of Fact
2. Conditions of Approval
3. Resolution No. 2017-183
4. Project Plans and Project Description
5. Radio Frequency Site Compliance Report dated March 31, 2017 by ATG, LLC.

Submitted by: Maricruz Aguilar
Maricruz Aguilar, Assistant Planner

Approved by: Doreen Liberto
Doreen Liberto, AICP, Community Development Director

EXHIBIT 1

CUP Case No. 2016-004

FINDINGS OF FACTS

The purpose for making Findings of Facts to *"bridge the analytical gap between the raw evidence and ultimate decision"*. The Municipal Code gives the Planning Commission ("**Commission**") the authority to approve a project so long as the Commission can make certain findings. Written "findings of fact" are required in order to support the decision of the hearing body to approve or deny a project.

Conditional Use Permit (CUP) Findings of Fact

- a. The proposed project is consistent with the requirements and policies of the City of King General Plan Residential Land Use designation and Zoning Ordinance R-4 High Density Residential District. The project will provide additional wireless capacity to meet the needs of the area in addition it will be a new streetlight.
- b. The proposed will not impact parking requirements and the pole is meeting the requirements of the streetlight standards. The height limits will be at a total of thirty (36') foot high which does not substantially degrade the views from the public right-of-way and meets the City standards for light poles.
- b. The general appearance of the proposed new small cell site is in keeping with the character of the City's standard street light poles and coordinate with its surrounding properties.
- c. The Applicant submitted a Radio Frequency Emissions Compliance Report dated **March 31, 2017** prepared by ATG, LLC., which states that the proposed will not affect site compliance with the FCC rules and regulations. **Exhibit 5**.
- c. The COA as shown on **Exhibit 2** are necessary to protect the health, safety and general welfare of the community, to ensure that the City develops in an orderly manner, and to ensure that the Project operates in a manner that does not adversely affect the surrounding areas. The proposed use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.

California Environmental Quality Act (CEQA) Findings of Fact

The project is a Class 3 Categorical Exemption (CEQA Guidelines §15303, Class 3). The project consists of the construction of a new small cell facility on the City's public right-of-way.

EXHIBIT 2

RESOLUTION NO. 2017-183

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF KING,
APPROVING CONDITIONAL USE PERMIT CASE NO. CUP2016-004,
FOR MOBILITIE, LLC TO CONSTRUCT A NEW SMALL CELL SITE ON THE
PUBLIC RIGHT-OF-WAY ALONG ELLIS STREET, KING CITY, CALIFORNIA
(LATITUDE/LONGITUDE: 36.213680, -121.129431)

WHEREAS, On June 21, 2016, David Downs on behalf of Mobilitie, LLC ("**Applicant**"), filed application an application for Case No. CUP2016-004 for the construction of a new small cell site that was placed on hold due to clarification on public right-of-way status; and

WHEREAS, On January 4, 2017, a Letter of Incompleteness was sent to the Applicant; and

WHEREAS, On April 7, 2017, the Applicant reinstated the application and submitted revisions to the site plan and project description; and

WHEREAS, On April 17, 2017, the Application was deemed complete; and

WHEREAS, the proposed includes installing a 32'6" feet high streetlight pole with a 2'.45" feet tall OMNI Directional Antenna mounted on top of the pole for a total height of thirty-six (36') feet. The project will also include placement of a four (4') foot pedestal meter located within five (5') feet of the proposed light pole, located on the public right-of-way along Ellis Street Latitude/Longitude: 36.213680, -121.129431;

WHEREAS, a Radio Frequency Emissions Compliance Report, prepared by ATG, LLC., dated March 31, 2017 indicated that the proposed would not affect site compliance with the FCC Rules and Regulations; and

WHEREAS, the project is a Class 3 Categorical Exemption of CEQA consisting of installing a new small cell site on the public right-of-way; and

WHEREAS, on July 5, 2017, a notice was published in the South County Newspaper *The Rustler* and mailed notices to property owners of record within a three-hundred (300') foot radius of the project site; and

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-004
JULY 18, 2017
PAGE 11 OF 17**

WHEREAS, on July 18, 2017, the Planning Commission held the public hearing for the project; and

WHEREAS, the Commission has reviewed and considered the information provided in the Staff Report and testimony presented during the public hearing, and accepts the **Findings of Fact** as outlined in Exhibit 1, and the Applicant's submittals as shown in Exhibit 4; and

WHEREAS, the Commission of the City of King, California, met at the duly noticed public hearing on July 18, 2017, at which time all interested persons were given the opportunity to be heard; and

WHEREAS, the Commission makes the followings Findings of Facts:

Conditional Use Permit (CUP) Findings of Fact

- a. The proposed project is consistent with the requirements and policies of the City of King General Plan Residential Land Use designation and Zoning Ordinance R-4 High Density Residential District. The project will provide additional wireless capacity to meet the needs of the area in addition it will be a new streetlight.
- b. The proposed will not impact parking requirements and the pole is meeting the requirements of the streetlight standards. The height limits will be at a total of thirty-six (36') feet high which does not substantially degrade the views from the public right-of-way and meets the City standards for light poles.
- c. The general appearance of the proposed new small cell site is in keeping with the character of the City's standard street light poles and coordinate with its surrounding properties.
- d. The Applicant submitted a Radio Frequency Emissions Compliance Report dated March 31, 2017 prepared by ATG, LLC., which states that the proposed will not affect site compliance with the FCC rules and regulations. Exhibit 5.
- e. The COA as shown on Exhibit 2 are necessary to protect the health, safety and general welfare of the community, to ensure that the City develops in an orderly manner, and to ensure that the Project operates in a manner that does not adversely affect the surrounding areas. The proposed use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.

California Environmental Quality Act (CEQA) Findings of Fact

The project is a Class 3 Categorical Exemption (CEQA Guidelines §15303, Class 3). The project consists of the construction of a new small cell facility on the City's public right-of-way.

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-004
JULY 18, 2017
PAGE 12 OF 17**

NOW, THEREFORE, BE IT HEREBY RESOLVED that the Planning Commission of the City of King approves Conditional Use Permit Case CUP2016-003 for the installation of a new small cell site on the public right-of-way along Ellis Street (Latitude/Longitude: 36.213680,-121.129431) with the Conditions of Approval (**Exhibit 2**) and the project submittals (**Exhibit 4**) as presented.

This resolution was passed and adopted this 18th day of July, 2017, by the following vote:

AYES:

NAYS:

ABSENT:

ABSTAIN:

DAVID NUCK, CHAIRPERSON

ATTEST: _____
ERICA SONNE, SECRETARY TO THE PLANNING COMMISSION

EXHIBIT 3

CONDITIONS OF APPROVAL
PROJECT CASE NUMBER CUP2016-004

Community Development Department (The Applicant should discuss the following conditions of approval ("**COA**") with Maricruz Aguilar-Navarro, 831-386-5916, if there are any questions):

1. **Project Description:** Conditional Use Permit Case No. CUP2016-004 is a request to construct a new small cell site on the public right-of-way consisting of a new 32'.6" foot streetlight pole with a two plus (2'.45") foot OMNI Directional Antenna for a total of thirty-six (36') feet in height and a four (4') foot pedestal meter located five (5') feet away from the streetlight pole along the right-of-way of Ellis Street (Latitude/Longitude: 36.213680, -121.129431 and shall be constructed in accordance with **Exhibit 4**, as approved by the Planning Commission on **July 18, 2017**.
2. **Approval Period:** The approval period for this permit shall be in accordance with the approved drawings and sketches and shall be null and void if not used within one (1) year from the date of the approval. Then the approval shall immediately expire and any building permit issued in reliance thereon shall be deemed cancelled and revoked. Municipal Code Section 17.64.030 prohibits any time extensions of the CUP beyond one year from the date of approval. No extension shall be permitted for the CUP as required by Municipal Code Section 17.64.030.
3. **Hold Harmless Clause:** Hold Harmless and Indemnification Clause: The Applicant agrees, as part of and in connection with each and all the applications and approvals, to defend, indemnify, and hold harmless the City of King ("**City**") and its elected officials, officers, contractors, consultants (including Earth Design, Inc., Hanna & Brunetti, Aleshire & Wynder, attorneys), employees and agents (including Earth Design, Inc., and Hanna & Brunetti) from any and all claim(s), action(s), or proceeding(s) (collectively referred to as "proceeding") brought against City or its officers, contractors, consultants, attorneys, employees, or agents (including Earth Design, Inc., Aleshire & Wynder, attorneys, and Hanna & Brunetti) to challenge, attack, set aside, void, or annul:

Any approvals issued in connection with all approvals, actions and applications by City covered by the conditions of approval and/or mitigation measures; and/or

Any action and approvals taken to provide related environmental clearance under the California Environmental Quality Act of 1970, as amended ("**CEQA**") by City's advisory agencies, boards or commissions; appeals boards or commissions; Planning Commission, or City Council. The

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-004
JULY 18, 2017
PAGE 14 OF 17**

Applicant's indemnification is intended to include, but not be limited to, damages, fees and/or costs awarded against or incurred by City, if any, and costs of suit, claim or litigation, including without limitation attorneys' fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the Applicant, *City, and/or parties initiating or involved in such proceeding.*

The Applicant agrees to indemnify City and its elected officials, officers, contractors, consultants, attorneys, employees and agents (including Earth Design, Inc., Hanna & Brunetti, Aleshire & Wynder, attorneys) for all of City's costs, fees, and damages incurred in enforcing the **indemnification** provisions of this Agreement.

The Applicant agrees to defend, indemnify and **hold harmless** City, its elected officials, officers, contractors, consultants (including Earth Design, Inc., Hanna & Brunetti, Aleshire & Wynder, attorneys), attorneys, employees and agents (including Earth Design, Inc., and Hanna & Brunetti) from and for all costs and fees incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending, any document (including, but not limited to, an environmental impact report, sphere of influence amendment, annexation, pre-zoning, general plan amendment, specific plan, vesting tentative tracts, sign applications, variances, conditional use permits, architectural review, etc.), if made necessary by said proceeding, and if the Applicant desires to pursue such City approvals and/or clearances, after initiation of the proceeding and that are conditioned on the approval of these documents.

In the event that the Applicant is required to defend City in connection with such proceeding, City shall have and retain the right to approve:

The counsel to so defend City.

All significant decisions concerning the manner in which the defense is conducted; and

Any and all settlements.

City shall also have and retain the right to not participate in the defense, except that City agrees to reasonably cooperate with the Applicant in the defense of the proceeding. If the City chooses to have counsel of its own defend any proceeding where the Applicant has already retained counsel to defend City in such matters, the fees and expenses of the additional counsel selected by City shall be paid by City. Notwithstanding the immediately preceding sentence, if City's Attorney's Office participates in the defense, any and all City Attorney, Staff and consultants' fees and costs shall be paid by the Applicant. In addition, in the event of litigation, the Applicant shall pay any and all City Staff and consultants' fees and costs.

The Applicant's defense and indemnification of City set forth herein shall

PLANNING COMMISSION
CONSIDERATION OF CUP2016-004
JULY 18, 2017
PAGE 15 OF 17

remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgments rendered in the proceeding.

4. **Other County, State and Federal Permits:** Before initiation of the proposed use, the Applicant shall provide copies of any required County, State and Federal permits or written verification of a waiver of permit requirement.
5. **Structural Changes:** Installation shall be in substantial conformance with the plans, conditions of approval presented to and approved by the Planning Commission in connection with the project. No conditions, colors, materials or architectural features shall be eliminated, added or modified without Commission review and action, amended CUP, as applicable.

City of King Building and Safety Department (The Applicant should discuss the building permit submittal process with Paul Hodges, Chief Building Official Building and Safety Department at (831) 386-5915.)

6. **Building Plans:** All COA shall be imprinted on plans submitted for building permits. Building plans shall comply with the current Title 24 California Building Standards Codes.
7. **Electrical Permit:** As part of the building permit submittal, the Applicant shall submit for an Electrical Permit required for new electrical pedestal and associated electrical circuit.
8. **Address Assignment:** As part of the building permit submittal, Applicant to submit for an Address Assignment for the pedestal meter.
9. **Lighting:** Standard streetlight lamp shall be provided. As part of the building permit submittal, the lighting standard shall be submitted for review and approval by the Building Department and Public Works Department. Where appropriate, light-emitting diode ("**LED**") lighting should be used for external lighting to reduce the site's electricity consumption.
10. **Business License:** Before issuance of a building permit, a business license shall be obtained for every person conducting or carrying on the business of general contractor or contractor constructing, altering, repairing, wrecking or salvaging buildings, highways, roads, railroads, excavations or other structures, projects, developments or improvements.

Every person conducting or carrying on the business of electrical, plumbing or painting subcontractor.

Every person conducting or carrying on the business of masonry, glazier, cement, floor, heating, plastering, roofing, sash, sheet metal, tile, lathing and any other subcontractor not specifically mentioned in this Title 5 of the Municipal Code.

Every person conducting or carrying on the business of house moving,

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-004
JULY 18, 2017
PAGE 16 OF 17**

grading, paving, wrecking, sewer construction, pipeline construction, trenching, or excavating.

Public Works Department (The Applicant should contact Sal Morales, Public Works Superintendent at 831-386-5919 or Octavio Hurtado, Hanna & Brunetti 408-842-2173, ohurtado@hannabrunetti.com, regarding the following COA, if there are any questions.)

11. **Encroachment Permit:** Before starting construction of small cell site, the Applicant shall be required to obtain a City of King encroachment permit for all work in City right of way (e.g., sidewalk, curb, gutter, driveway, roadway, alley).
12. **ADA Walkway Access:** Prior to issuance of an encroachment permit, the Applicant shall verify that the placement of the pole and meter shall not impede ADA walkway access, for the review and approval of the City Engineer.

Miscellaneous Conditions:

13. **Maintenance Plan and Permission to Use Site:** Before issuance of a building permit, the Applicant shall provide and comply with a Maintenance Plan that satisfies both the Public Works and Building Department's requirements. At all times Mobilitie shall have permission to use the City's right of way for the proposed use. Permission for the purposes of this entitlement will be presumed in the absence of a written agreement or resolution by complying with the following: i) Mobilitie shall provide access to, and use of, the streetlight pole to the City, if/when the City should decide to install a security equipment; ii) The City will coordinate with Mobilitie regarding the installation of a security equipment, and Mobilitie shall provide full access to the proposed streetlight pole for both installation and on-going maintenance of any security equipment that the City may desire to install at no cost to the City; iii) Mobilitie will also allow installation of any signage on the proposed pole that the City may desire to install for either security, safety, or maintenance purposes; iv) Mobilitie will promptly repair or pay, at the option of the City, for any damage caused by Mobilitie to any of the City equipment, signage or murals; and v) Mobilitie shall allow for any City-approved group or person to paint mural(s) on the proposed meter-pedestals, as long as those murals do not conflict with any PG&E operations. Any/all murals painted on metered pedestals shall be in conformance with Municipal Code 17.55, as may be amended.
14. **On-site Personnel:** Access to the tower shall be restricted to communication industry professionals, and approved contractor personnel trained in radio-frequency safety.

**PLANNING COMMISSION
CONSIDERATION OF CUP2016-004
JULY 18, 2017
PAGE 17 OF 17**

- 15. Future Communication Interferences with County of Monterey Safety Communications System:** Prior to issuance of a building permit, the Applicant to obtain clearance with the County of Monterey Telecommunications Department that the additional antennas will not interfere with the safety communications system. Any future site radio frequency interferences from the cell site affecting the safety communication systems shall be corrected immediately. If it is not corrected immediately, the CUP will be treated as out of compliance with the COA.
- 16. Height of Antennas:** New or replacement of antennas that because of technological requirements result in projecting above the existing size as approved shall be reviewed separately and no other carrier shall add/replace antennas or equipment that result in projecting above the existing height of the monopole without further review for code compliance.

Conditional Use Permit Condition Agreement

The Conditional Use Permit are **not** valid until all Conditions of Approval ("**COA**") imposed by the Planning Commission are signed for and agreed to by the Applicant.

I have received a copy of the Conditional Use Permit Conditions of Approval and agree with them. I understand that if I do not abide by them the Planning Commission has the authority to revoke my conditional use permit, pursuant to the Municipal Code. (Reference Municipal Code §17.64.040.).

Applicant Signature: _____ Date: _____

EXHIBIT 4



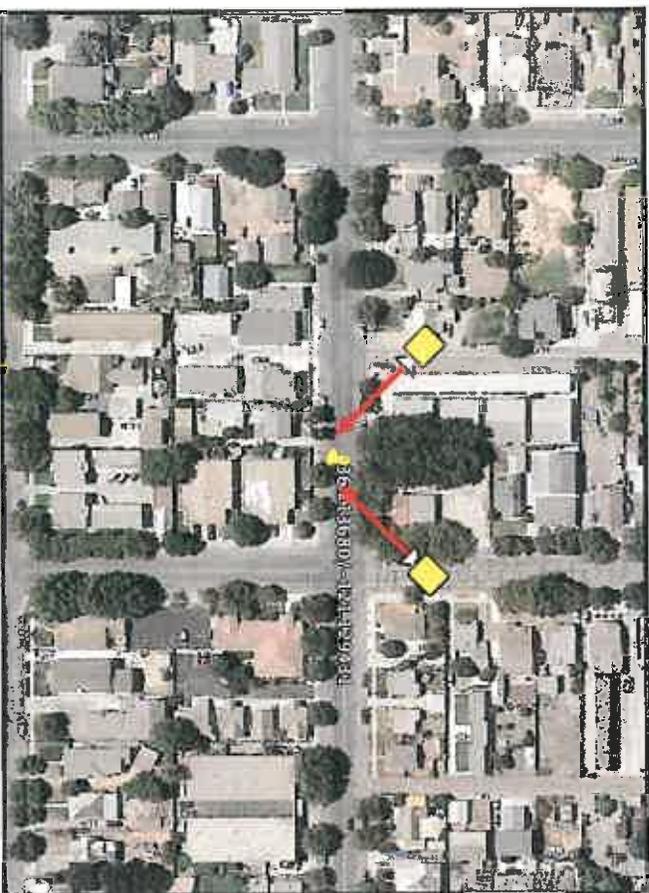
Photo Simulation Proposal

Site ID/Candidate ID: 9CAB013197A/SF90XS0A5A

Date: 02/27/17

Installation Category: Small Cell
Site Description: Existing Right of Way
Simulated Views: 2

Location: Ellis St & N Vanderhurst Ave
King City, CA 93930
Pole Type: New Steel Pole



Simulation Viewing Locations   Lat/Long:



Sample Proposed Configuration

Photo Simulation Proposal

This photographic simulation is intended as a visual guide only. It is not to be used for construction purposes, and should be used for esthetic consideration for the proposed installation.



intelligent infrastructure
2955 Redhill Ave, Costa Mesa CA 92626
(714) 540-1857

CR 2016-004

Site ID: 9CAB013197A
Candidate ID: SF90XS0A5A
Pole Type: New Steel Pole
Location: Ellis St & N Vanderhurst Ave
King City, CA 93930



Date: 02/27/17

Page: 2 of 3

Photo Simulation Proposal

This photographic simulation is intended as a visual guide only. It is not to be used for construction purposes, and should be used for esthetic consideration for the proposed installation.

Site ID: 9CAB013197A
Candidate ID: SF90XS0A5A

Pole Type: New Steel Pole
Location: Ellis St & N Vanderhurst Ave
King City, CA 93930

mobilitie
intelligent infrastructure

2955 Redhill Ave, Costa Mesa CA 92626
(714) 540-1857

CR 2016-004



Date: 02/27/17

Page: 3 of 3

Photo Simulation Proposal

This photographic simulation is intended as a visual guide only. It is not to be used for construction purposes, and should be used for esthetic consideration for the proposed installation.

Site ID: 9CAB013197A
Candidate ID: SF90XS0A5A
Pole Type: New Steel Pole

Location: Ellis St & N Vanderhurst Ave
King City, CA 93930

mobilitie
Intelligent Infrastructure

2955 Redhill Ave, Costa Mesa CA 92626
(714) 540-1857

UR 2016-004

EXHIBIT 4



SITE ID-CANDIDATE LETTER/CASCADE ID-CANDIDATE LETTER:

9CAB013197/SF90XS0A5A

LATITUDE/LONGITUDE:

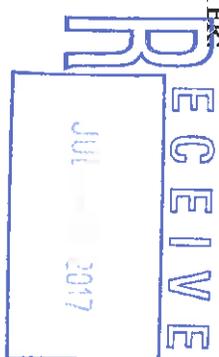
36.213680/-121.129431

CROSS STREET:

Ellis St and N Vanderhurst Ave

CITY, STATE, ZIP:

411 Ellis St, King City, CA 93930



GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OF EFFECT ON DRAINAGE. NO SIGNIFICANT SERVER SERVICE, POTABLE WATER OR FRESH OPERATIONAL IS REQUIRED AND NO COMMERCIAL SPOUSERS FROM USES.

SITE INFORMATION

SITE ID:	9CAB013197
CASCADE ID:	SF90XS0A5A
LATITUDE:	36.213680
LONGITUDE:	-121.129431
CROSS STREET:	ELLIS ST AND N VANDERHURST AVE
CITY, STATE ZIP:	KING CITY, CA 93930
COUNTY:	MONTEREY
JURISDICTION:	CITY OF KING CITY
PROJECT OWNER:	PUBLIC RIGHT-OF-WAY
APPLICANT:	MAGNETIC INC. 2958 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626

ENGINEER

ROBERT MARKES
CONTRACT REGISTERED ENGINEER
NO. 12075
800 VISTA, CA 94971
TEL: (907) 555-0274
EMAIL: rmarkes@mobilitie.com

DO NOT SCALE DRAWINGS

CONTRACTORS SHALL VERIFY ALL PLANS, PER DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

VICINITY MAP



LOCATION MAPS

SITE PHOTO



PROJECT DESCRIPTION

AND USER PROPOSALS TO INSTALL ANTENNA FACILITY ON A NEW STEEL POLE WITH AN EXISTING RIGHT-OF-WAY. THE SCOPE WILL CONSIST OF THE FOLLOWING:
 - INITIAL PROPOSED SMALL SCALE WIRELESS EQUIPMENT ON A NEW STEEL LIGHT POLE
 - INITIAL USER REQUEST

CODES

INTERNATIONAL BUILDING CODE
 NATIONAL ELECTRICAL CODE
 CALIFORNIA ELECTRICAL CODE
 LOCAL BUILDING/PLANNING CODE
 GENERAL ORDER 95

DRAWING INDEX

SHEET NO.	TITLE SHEET	SHEET TITLE
T-1	OVERALL SITE PLAN	
A-1	EXISTING PHOTOS & BALANCED SITE PLAN	
A-2	EXISTING PHOTOS & BALANCED SITE PLAN	
A-3	POLE ELEVATIONS	
A-4	PLUMBING & WER DIAGRAM	
A-5	EQUIPMENT DETAILS	
A-6	ELECTRICAL DETAILS	
E-1	ELECTRICAL PLAN	
E-2	GROUNDING DETAILS	
GN-1	GENERAL NOTES	
GN-2	GENERAL NOTES	
GN-3	GENERAL NOTES	
TC-1	TRAFFIC CONTROL PLAN	

mobilitie
intelligent infrastructure

MOBILITE, INC.
2958 RED HILL AVENUE, SUITE 200
COSTA MESA, CA 92626

MM
MAGNETIC MANAGEMENT, LLC
100 BOULEVARD
E. VISTA, CALIFORNIA
www.magneticonline.com

PROJECT NO: 9CAB013197

DESIGN BY: JACOB TORRES

CHECKED BY: R. MARKES

1	DESIGN REVIEW	ROBERT MARKES
2	PERMITS REVIEW	ROBERT MARKES
3	CONSTRUCTION REVIEW	ROBERT MARKES

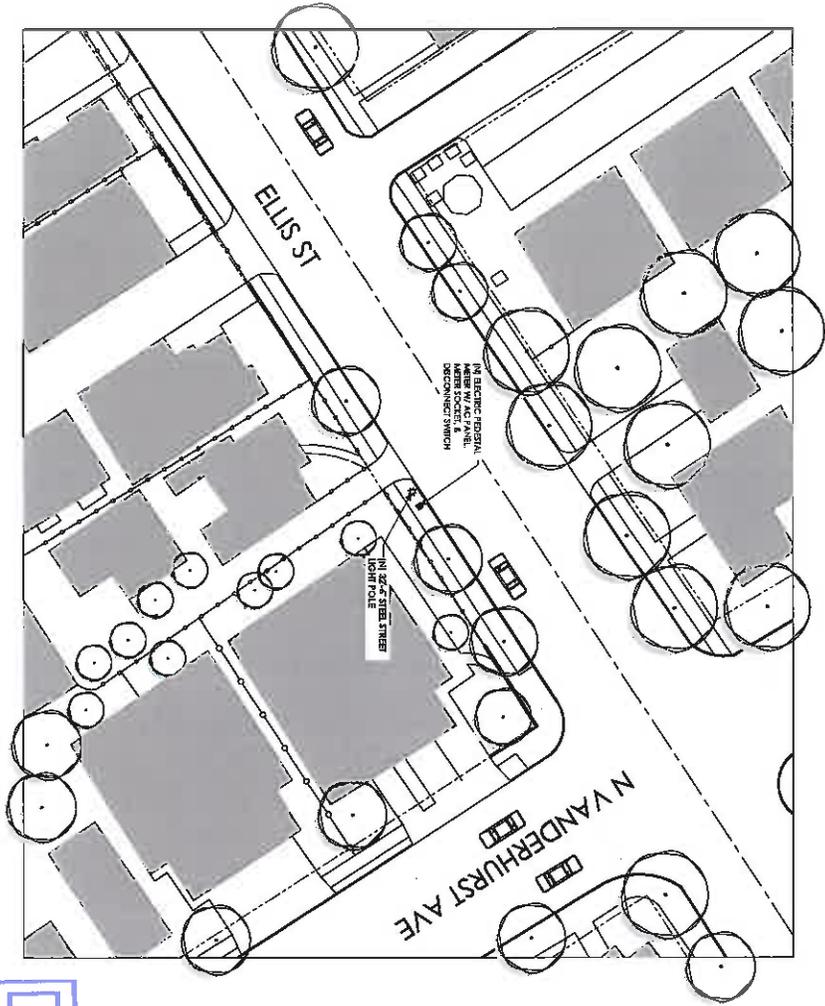
THIS IS A PRELIMINARY DRAWING AND SHOULD NOT BE USED FOR CONSTRUCTION WITHOUT THE SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER.

SHEET NAME
9CAB013197
SF90XS0A5A
 411 Ellis St,
 KING CITY, CA 93930
 Utility Light Pole

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

COP 2016-004



THESE PLANS WERE GENERATED WITHOUT THE USE OF A SURVEY, PROPERTY LINES, RIGHT-OF-WAYS, POWER & TELECOMMUNICATIONS ROUTES AND REMAINS SHOWN ON THESE PLANS ARE ESTIMATED. ALL TRING AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.

UNDERGROUND UTILITIES, ARE THE LOCATIONS AND DEPTHS OF ANY UNDERGROUND PIPES, STRUCTURES, OR CONDUITS SHOWN ON THE PLAN WERE OBTAINED BY A SEARCH OF RECORDS AND FIELD SURVEY. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

OVERALL SITE PLAN

CITY OF KING



RECEIVED
 JUN 20 2017
 CITY OF KING

CP 2016-004

mobilitie
 Intelligent Infrastructure

MOBILITE, INC.
 2955 RED HILL AVENUE, SUITE 200
 COSTA MESA, CA 92626

MM
 Madson Management, LLC
 801 Via, CA 94131
 www.madsonmanagement.com

PROJECT NO: 9CAB013197
 DRAWING NO: 12010RUS3
 CHECKED BY: REBARNS

NO.	DATE	DESCRIPTION
1	05/01/17	DESIGN REVISIONS
2	05/01/17	DESIGN REVISIONS
3	05/01/17	DESIGN REVISIONS
4	05/01/17	DESIGN REVISIONS
5	05/01/17	DESIGN REVISIONS
6	05/01/17	DESIGN REVISIONS
7	05/01/17	DESIGN REVISIONS
8	05/01/17	DESIGN REVISIONS
9	05/01/17	DESIGN REVISIONS
10	05/01/17	DESIGN REVISIONS

THIS IS A COPY OF THE LATEST REVISIONS. ALL OTHERS ARE OBSOLETE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF ALL UTILITIES SHOWN ON THESE PLANS.

SITE NAME
9CAB013197
SF90XS0A5A
 411 Ellis St,
 KING CITY, CA 93930
 Utility Light Pole

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
A-1



EXHIBIT PHOTO

SCALE
NOT TO SCALE

1



AERIAL SITE LOCATION

SCALE
NOT TO SCALE

2

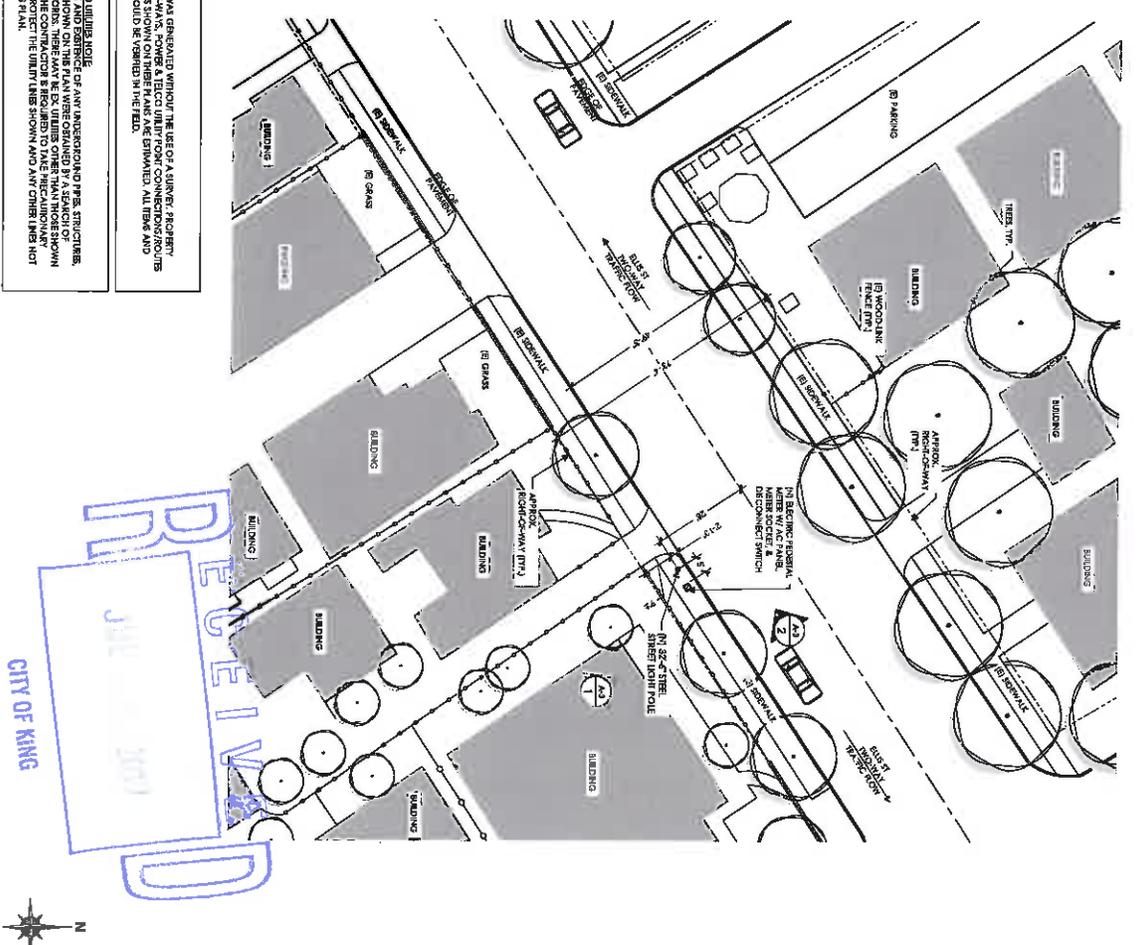
NOTE: THE PLAN HAS BEEN PREPARED WITHOUT THE USE OF A SURVEY, ASSESSMENT, SURVEYING, POWER, AND TELECOMMUNICATIONS CONNECTIONS. THE DIMENSIONS SHOWN ON THIS PLAN ARE ESTIMATED. ALL TIE INS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.

INDICATIONS OF UTILITIES: THE LOCATION AND DEPTH OF ANY UNDERGROUND PIPE, STRUCTURES, OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE LOCATION AND DEPTH OF ANY UTILITIES SHOWN ARE NOT SHOWN ON THIS PLAN.

ENLARGED SITE PLAN

SCALE
1" = 10' 0"

3



REDEVELOPMENT
CITY OF KING

mobilitie
Mobilitie, Inc.
2885 RED HILL AVENUE, SUITE 200
COSTA MESA, CA 92626

MM
Anderson Management, LLC
1700 ZEPHYRUS
SAN JOSE, CA 95128

PROJECT NO.	SC-88033-97
DRAWN BY:	J. GOLDFUSS
CHECKED BY:	B. BARNS

1	09/20/17	10% CONSTRUCTION PERMITS
2	08/29/17	20% CIVIL DESIGN REVISIONS
3	06/29/17	DESIGN REVISIONS
4	06/02/17	DESIGN REVISIONS

1. THE LOCATION OF ALL UTILITIES AND STRUCTURES SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE LOCATION AND DEPTH OF ANY UTILITIES SHOWN ARE NOT SHOWN ON THIS PLAN.

SITE NAME
9CAB013197
ST90XS0A5A
411 ELIAS ST.
KING CITY, CA 95930
Utility Light Pole

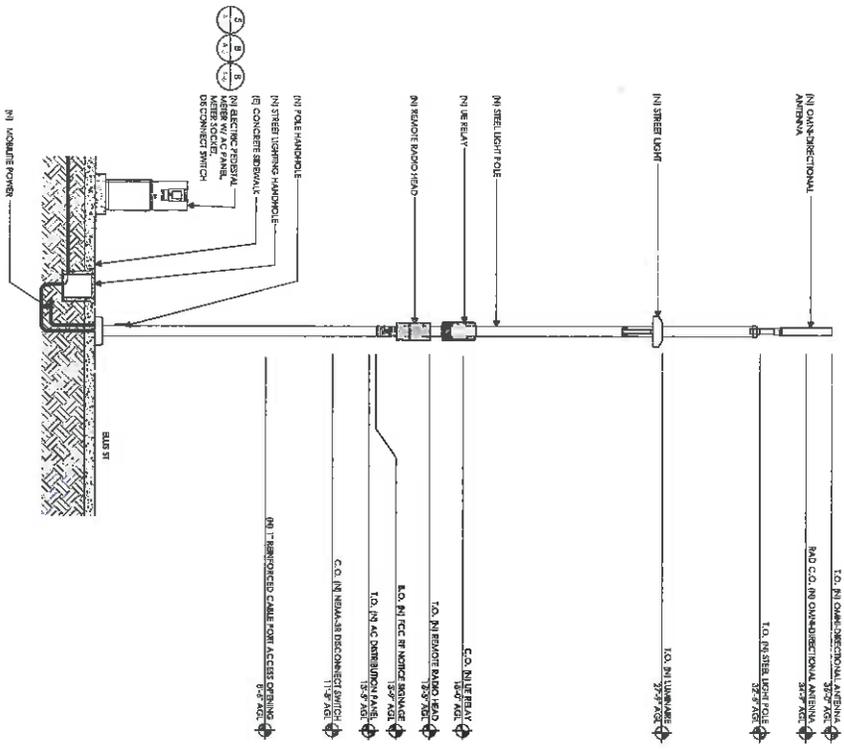
SHEET TITLE
EXHIBIT PHOTOS
ENLARGED SITE PLAN

SHEET NUMBER
A-2

OUR 2016-004

PROPOSED BACK ELEVATION

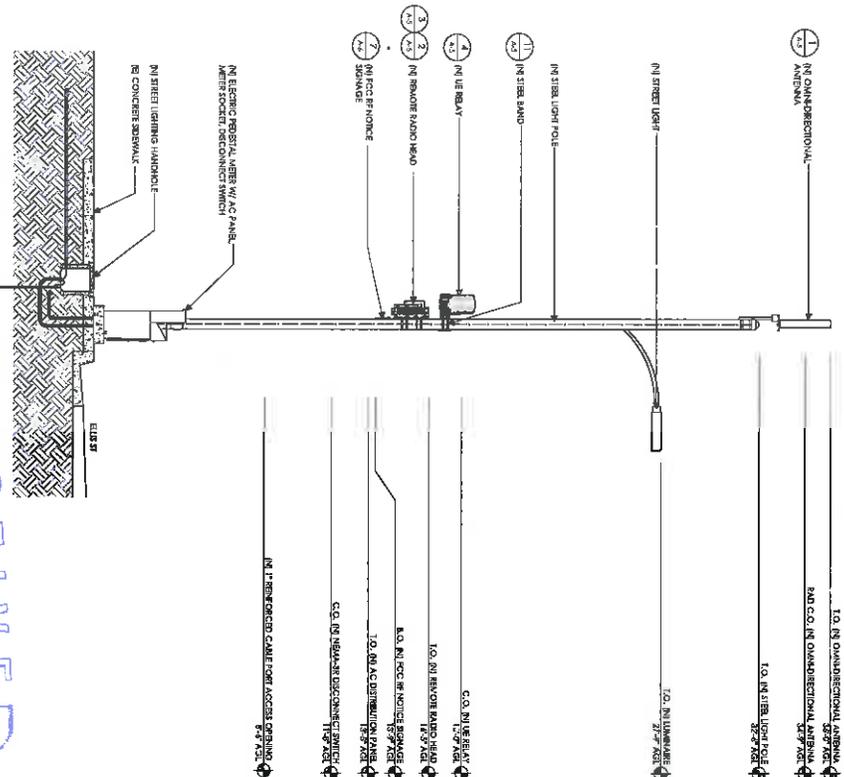
- NOTES:
1. ALL HARDWARE SHALL BE STAINLESS STEEL.
 2. ALL CABLES SHALL BE REQUIRED TO FOLE EVERY 24" OR LESS.
 3. LIGHTING ROSES SHALL BE INCLUDED AS REQUIRED.
 4. LAYERS TO BE COMPLETED IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS AND ALL APPLICABLE PERMITS AND REGULATIONS.



SCALE 1" = 10'-0"

PROPOSED SIDE ELEVATION

- NOTES:
1. ALL HARDWARE SHALL BE STAINLESS STEEL.
 2. ALL CABLES SHALL BE REQUIRED TO FOLE EVERY 24" OR LESS.
 3. LIGHTING ROSES SHALL BE INCLUDED AS REQUIRED.
 4. LAYERS TO BE COMPLETED IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS AND ALL APPLICABLE PERMITS AND REGULATIONS.



SCALE 1" = 10'-0"

RECEIVED

CITY OF KING

AP 2016-004

 <p>MOBILETTE INC. 2955 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>	 <p>Meridian Management, LLC 950 VISTA CA 94017 TEL: 707.272.2222 WWW.MERIDIANMANAGEMENT.COM</p>	<p>PROJECT NO: 9CAB013197 DRAWN BY: LGOLDPLUS CHECKED BY: EBARNS</p>	<p>SHEET TITLE ELEVATIONS</p> <p>SHEET NUMBER A-3</p>
<p>9CAB013197 SF90X30A5A 411 ELLIS ST. KING CITY, CA 93930 Utility Light Pole</p>		<p>1. 06/09/17 DESIGN REVISIONS 2. 06/09/17 VMS CDR REVIEW REVISIONS 3. 06/09/17 VMS CDR REVIEW REVISIONS 4. 06/09/17 VMS CDR REVIEW REVISIONS</p>	

CABLING NOTES:

- A) WOOD, CONCRETE AND BRICK: METALLIC POLES: FROM SERVICE END TO SERVICE END AND FROM ROAD GALVANIZED STEEL CONDUIT (RGS) IN ROAD GALVANIZED STEEL CONDUIT (RGS)
- B) GROUNDING CONDUCTORS IN EXPOSED LOCATIONS MUST BE INSTALLED IN PVC.
- C) ALL CONDUIT FOR RAC/VAL AND ELECTRICAL SERVICE (RADIATION TORS AT GRADE LINE, COAXIAL) MUST RUN IN PVC UTILITY POLE RISER.
- D) ALL MAJOR EQUIPMENT, EXCEPT UTILITY DUCT IMMEDIATELY ABOVE THE EQUIPMENT, MUST BE INSTALLED IN THE UTILITY POLE RISER. ALL RISES TO AND LESS THAN THE CABLE BENDING RADIUS.
- E) MAKE THE UTILITY POLE RISER, UTILITY W/ COAX BLOCK WITH LAG SCREWS TO SUPPORT COAX, RADIO AND MW POWER, IF COAX AND BARRIER CABLES TO WITHIN 1/2 OF THE EQUIPMENT BENDING RADIUS.
- F) FOR UNDERGROUND HEAVY DUTY BACKHAUL, ROUTE THROUGH CABLE IN CONDUIT UP THE POLE AND ENTER THE UTILITY POLE RISER. SEAL APPROX 1" OF CONDUIT WITH A CABLE TERMINATION FITTING.
- G) APPROVAL IN SELECT CASES (LIQUID-TIGHT FIBER METALLIC EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX. EXAMPLE: UTILITY REQUIRED DISCONNECT ON POLE W/ AC DISTRIBUTION BOX ON OFF-POLE SIDE OF POLE.
- H) NEW 4/27 ALUG POLES.
- I) PROTECT NEW POLES WITH SHIELD HAND HOLES SUCH THAT HAND HOLES BENT AT ALL EQUIPMENT LOCATIONS.
- J) WITH CLIENT APPROVAL IN SELECT CASES TO FACILITATE MAINTENANCE APPEARANCE, W/ COAXIAL CABLES MAY BE SUPERSEDED IN LIEU OF LUGS.
- K) WHERE POSSIBLE, INSTALL POLE BASE SUCH THAT THE ELECTRICAL FEED AND BACKHAUL UP UNDERGROUND CIRCUIT ENTERS THE POLE THROUGH THE POLE BASE. IF A DISCONNECTING MEANS SEPARATE FROM THE AC DISTRIBUTION BOX IS REQUIRED BY JURISDICTION OR UTILITY, WITH APPROVAL IN SELECT CASES (LIQUID-TIGHT FIBER METALLIC EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX). EXTENDING ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX.

RECEIVED

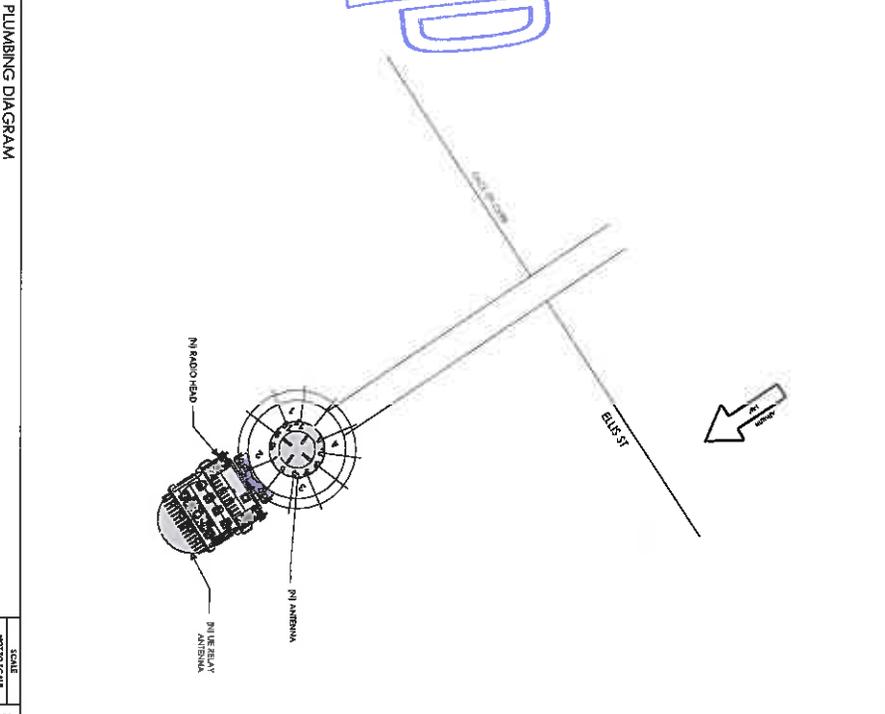
CITY OF KING

TABLE #1 PROPOSED EQUIPMENT CHART

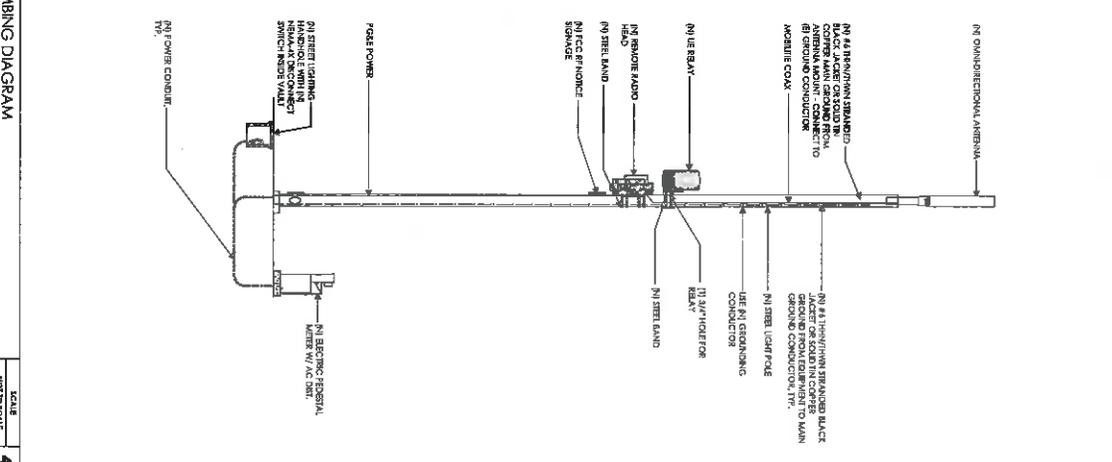
QTY	DESCRIPTION	MANUFACTURER	MODEL NUMBER	CABLE LENGTH	DISCONNECT (AMPERE)	WEIGHT
1	MOBILE ANTENNA	ALPAC	WARRIOR	ASSETS	25.5" X 7.5" SQUARE	8.1 LBS
1	UTILITY POLE RISER	ALPAC	ASSETS	125" X 7.5" DIAMETER		5.1 LBS
1	MOBILE ANTENNA	ALPAC	WARRIOR	ASSETS	25.5" X 7.5" SQUARE	8.1 LBS
1	UTILITY POLE RISER	ALPAC	ASSETS	125" X 7.5" DIAMETER		5.1 LBS
1	MOBILE ANTENNA	ALPAC	WARRIOR	ASSETS	25.5" X 7.5" SQUARE	8.1 LBS
1	UTILITY POLE RISER	ALPAC	ASSETS	125" X 7.5" DIAMETER		5.1 LBS

EQUIPMENT CHART

SCALE NOT TO SCALE



NOTE:
CABLING DIAGRAM IS FOR CLARITY OF CABLE ROUTE AND TERMINATION ONLY. CONDUIT SHALL BE INSTALLED WITH MINIMAL VERTICAL IMPACT ON EQUIPMENT AND ANTENNA LOCATIONS.



PLUMBING DIAGRAM

PLUMBING DIAGRAM

PLUMBING DIAGRAM

PLUMBING DIAGRAM

mobile
The Right Infrastructure

MOBILETE, INC.
2965 RED HILL AVENUE, SUITE 200
COSTA MESA, CA 92626

MM
Mobile Management, LLC
860 VISTA CA 94011
TEL: 925.262.2024
WWW.MOBILETE.COM

PROJECT NO: SCAB013197
DRAWN BY: JLD/CRUSS
CHECKED BY: B.A.BARRIS

NO.	DESCRIPTION	DATE
1	DESIGN REVISIONS	06/09/17
2	DESIGN REVISIONS	06/09/17
3	CONSTRUCTION DIMENSIONS	09/28/17

SHEET NAME
99CAB013197
SF90XS0A5A
411 Ellis St,
KING CITY, CA 95930
Unity Light Pole

SHEET TITLE
PLUMBING & RISER
DIAGRAM

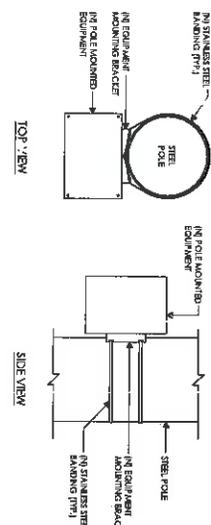
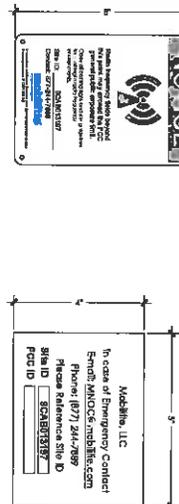
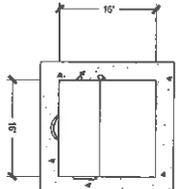
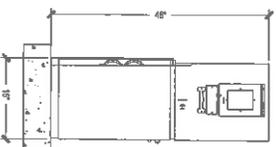
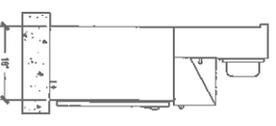
SHEET NUMBER
A-4

CUR 2016-004

<p>MANUFACTURER: ALPHA WIRELESS MODEL: ALPHA 1100 HEIGHT: 11.0\"/> </p>	<p>MANUFACTURER: ALPHA WIRELESS MODEL: IR440 HEIGHT: 7.5\"/> </p>	<p>NOT USED</p>	<p>MANUFACTURER: ALPHA WIRELESS MODEL: IR440 HEIGHT: 1.0\"/> </p>
<p>MANUFACTURER: ALPHA WIRELESS MODEL: AIRSPAN HEIGHT: 10.5\"/> </p>	<p>MANUFACTURER: AC LOAD CENTER MODEL: AC-100 HEIGHT: 4.5\"/> </p>	<p>MANUFACTURER: SIEMENS MODEL: NEMA-3R HEIGHT: 5.5\"/> </p>	<p>MANUFACTURER: STAINLESS STEEL BANDS MODEL: SS-100 HEIGHT: 1.0\"/> </p>
<p>MANUFACTURER: ALPHA WIRELESS MODEL: AIRSPAN HEIGHT: 2.0\"/> </p>	<p>NOT USED</p>		<p>NOT USED</p>

CIP 2016-004

<p>MOBLITE, INC. 2855 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>	<p>Madison Management, LLC 17500 75TH AVENUE FORT WORTH, TX 76155</p>	<p>PROJECT NO: 9CAB013197 DRAWN BY: J.GOLDSTEIN CHECKED BY: S.BARNES</p>	<table border="1"> <tr> <td>1</td> <td>02/20/17</td> <td>XXX</td> <td>CONSTRUCTION DRAWER</td> </tr> <tr> <td>2</td> <td>02/20/17</td> <td>XXX</td> <td>CD REVIEWER</td> </tr> <tr> <td>3</td> <td>06/19/17</td> <td>XXX</td> <td>DESIGN REVIEWER</td> </tr> <tr> <td>4</td> <td>06/20/17</td> <td>XXX</td> <td>DESIGN REVIEWER</td> </tr> </table>	1	02/20/17	XXX	CONSTRUCTION DRAWER	2	02/20/17	XXX	CD REVIEWER	3	06/19/17	XXX	DESIGN REVIEWER	4	06/20/17	XXX	DESIGN REVIEWER	<p>SHEET TITLE: EQUIPMENT DETAILS SHEET NUMBER: A-5</p> <p>SITE NAME: 9CAB013197 SF90XS0A5A 411 Ellis St. KING CITY, CA 93930 Utility Light Pole</p>
1	02/20/17	XXX	CONSTRUCTION DRAWER																	
2	02/20/17	XXX	CD REVIEWER																	
3	06/19/17	XXX	DESIGN REVIEWER																	
4	06/20/17	XXX	DESIGN REVIEWER																	

<p>NOT USED</p>	<p>NOT USED</p>	<p>NOT USED</p>
<p>NOTE: MOUNTING WITH STAINLESS STEEL BANDING</p> 	<p>ANTENNA SIGNAGE</p> <p>EMERGENCY CONTACT SIGN</p>  <p>DS-ENROLLING PROTOCOL LABEL</p> 	<p>EQUIPMENT MOUNTING DETAIL</p> <p>POLE MOUNTING SIGNS</p> <p>MANUFACTURER: CALLING MODEL: 6 COMMERCIAL WEIGHT: 40 IN HEIGHT: 16 IN WIDTH: 16 IN WEIGHT: 16 LB</p>  <p>PLAN</p>  <p>ELEVATION</p>  <p>SIDE</p>
<p>NOT USED</p> 	<p>MILBANK METER PEDESTAL</p>	<p>3</p>

08 2016-004

 <p>MOBLITE, INC. 2885 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>	 <p>Mobile Management LLC 501 Via, CA 94071 1707 072324 www.mobilemanagement.com</p>	<p>PROJECT NO: 9CAB013197 DRAWN BY: JGOLDRUIS CHECKED BY: B.MARRIS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>04/02/17</td> <td>DESIGN REVISIONS</td> </tr> <tr> <td>2</td> <td>06/01/17</td> <td>DESIGN REVISIONS</td> </tr> <tr> <td>3</td> <td>08/29/17</td> <td>CONSTRUCTION PERMITS</td> </tr> <tr> <td>4</td> <td>09/26/17</td> <td>CONSTRUCTION PERMITS</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	04/02/17	DESIGN REVISIONS	2	06/01/17	DESIGN REVISIONS	3	08/29/17	CONSTRUCTION PERMITS	4	09/26/17	CONSTRUCTION PERMITS	<p>SHEET TITLE EQUIPMENT DETAILS</p> <p>SHEET NUMBER A-6</p>	<p>SITE NAME 9CAB013197 SF90XS0A5A 411 ELLIS ST, KING CITY, CA 93930 Utility Light Pole</p> <p>THIS IS A FIELD DRAWING OF THE EQUIPMENT AND SIGNAGE. IT IS NOT A CONTRACT DOCUMENT. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DIMENSIONS OF ALL EQUIPMENT AND SIGNAGE PRIOR TO INSTALLATION.</p>
NO.	DATE	DESCRIPTION																	
1	04/02/17	DESIGN REVISIONS																	
2	06/01/17	DESIGN REVISIONS																	
3	08/29/17	CONSTRUCTION PERMITS																	
4	09/26/17	CONSTRUCTION PERMITS																	

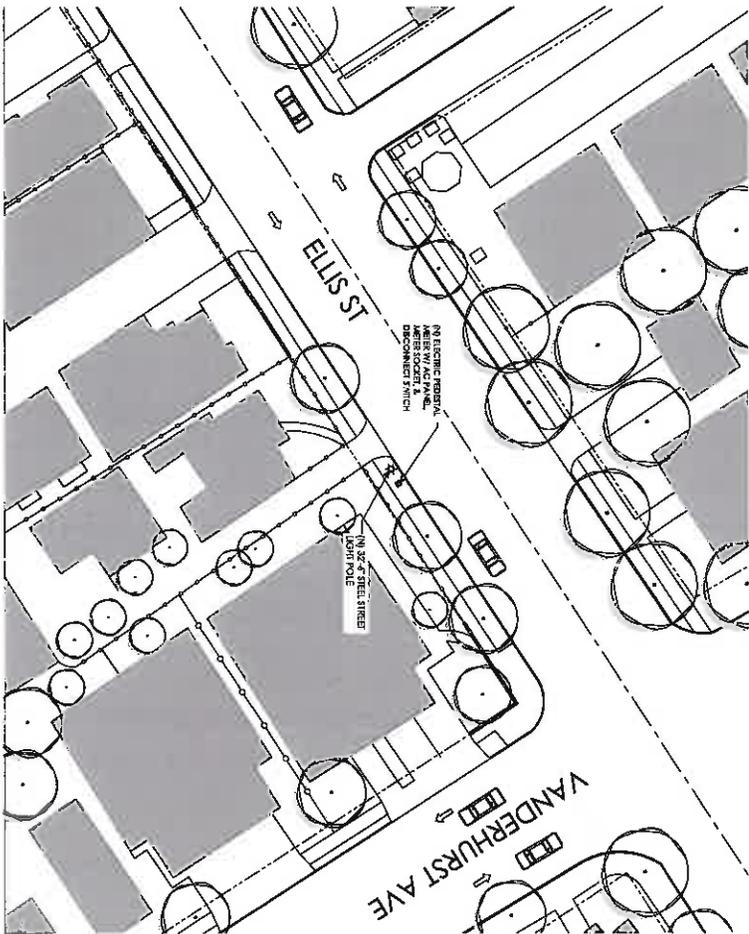
RECEIVED
CITY OF KING
2017

LEGEND

★	SITE POLE
⊙	FIRE HYDRANT
□	VAULT
→	TRAFFIC FLOW

UNDERGROUND UTILITIES NOTE:
THE LOCATION AND EXISTENCE OF ANY UNDERGROUND PIPES, STRUCTURES OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EX. UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THE PLAN.

UTILITY PLAN



POLE INFORMATION

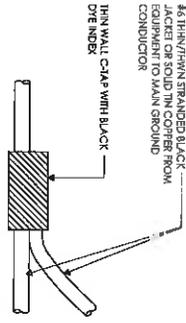
SITE NAME:	SFP90XSOA5A	POLE TYPE:	STEEL POLE
INSTALLATION TYPE:	NEW POLE	HEIGHT:	18'0"
UTILITY TYPE:	UTILITY	RECORD POLE D.I. NUMBER:	180
PROPOSED ATTACHMENT HEIGHT:	12'11.799401	RECORD POLE D.I. NUMBER:	180
INSTALLATION TYPE:	UTILITY	OVERHEAD:	180
RECORD POLE D.I. NUMBER:	180	UNDERGROUND:	180
RECORD POLE D.I. NUMBER:	180	REQUIRED TO BRING POWER POLE TO SITE:	180
DISCONNECT AS POLE ON EXISTING POLE:	180	AT / LONG OF POWER POLE:	N/A
DESIGN OF PROPOSED POWER POLE:	180	VISIBLE WIRING BACKGROUND OPTION:	FIBER DISTRIBUTION BOX
REQUIRED TO BRING POWER POLE TO SITE:	180	SPECIAL SITE NOTES:	
AT / LONG OF POWER POLE:	N/A		
VISIBLE WIRING BACKGROUND OPTION:	FIBER DISTRIBUTION BOX		

CIP 2016-004

1

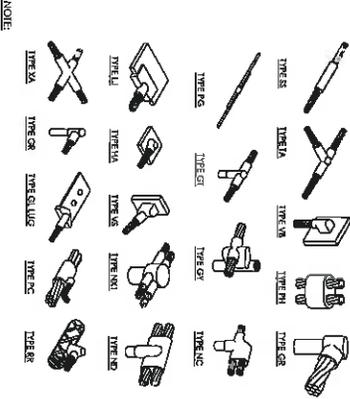
<p style="text-align: center;">mobilitie Intelligent Infrastructure</p> <p style="font-size: 0.8em;">MOBILITE, INC. 2865 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>	<p style="text-align: center;">MMI</p> <p style="font-size: 0.7em;">Masonite Management, LLC 1700 BAYVIEW SAN JOSE, CA 94134 www.masonitemanagement.com</p>	<p>PROJECT NO: 90280197 DRAWN BY: J.GOLDLUS CHECKED BY: B.BARKS</p>	<p>IT IS A CONDITION OF THE LICENSE AND REGISTRATION OF PROFESSIONAL ENGINEERS TO ACCEPT AND SEAL DRAWINGS PREPARED BY OTHERS THAT THE ENGINEER REVIEWER SHALL REVIEW THE DRAWINGS FOR CONFORMANCE WITH THE PROFESSIONAL ENGINEERING ACT AND RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL ENGINEERS.</p> <p style="text-align: center;">SITE NAME: 9CAB013197 SF90XSOA5A 411 ELLIS ST, KING CITY, CA 93930 Utility Light Pole</p>																				
<p style="text-align: center;">SHEET TITLE: ELECTRICAL PLAN</p> <p style="text-align: center;">SHEET NUMBER: E-2</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">4</td> <td style="width: 25%;">06/20/12</td> <td style="width: 25%;">DESIGN REVIEWING</td> <td style="width: 25%;"></td> </tr> <tr> <td>3</td> <td>06/20/12</td> <td>DESIGN REVIEWING</td> <td></td> </tr> <tr> <td>2</td> <td>06/20/12</td> <td>DESIGN REVIEWING</td> <td></td> </tr> <tr> <td>1</td> <td>06/20/12</td> <td>DESIGN REVIEWING</td> <td></td> </tr> <tr> <td>1</td> <td>06/20/12</td> <td>CONSTRUCTION</td> <td></td> </tr> </table>		4	06/20/12	DESIGN REVIEWING		3	06/20/12	DESIGN REVIEWING		2	06/20/12	DESIGN REVIEWING		1	06/20/12	DESIGN REVIEWING		1	06/20/12	CONSTRUCTION	
4	06/20/12	DESIGN REVIEWING																					
3	06/20/12	DESIGN REVIEWING																					
2	06/20/12	DESIGN REVIEWING																					
1	06/20/12	DESIGN REVIEWING																					
1	06/20/12	CONSTRUCTION																					

NOTE:
CONNECTION TO SURROUNDING COMPLETED WEATHER PROOF CONNECTION



C-TAP DETAIL

SCALE
NOT TO SCALE 1

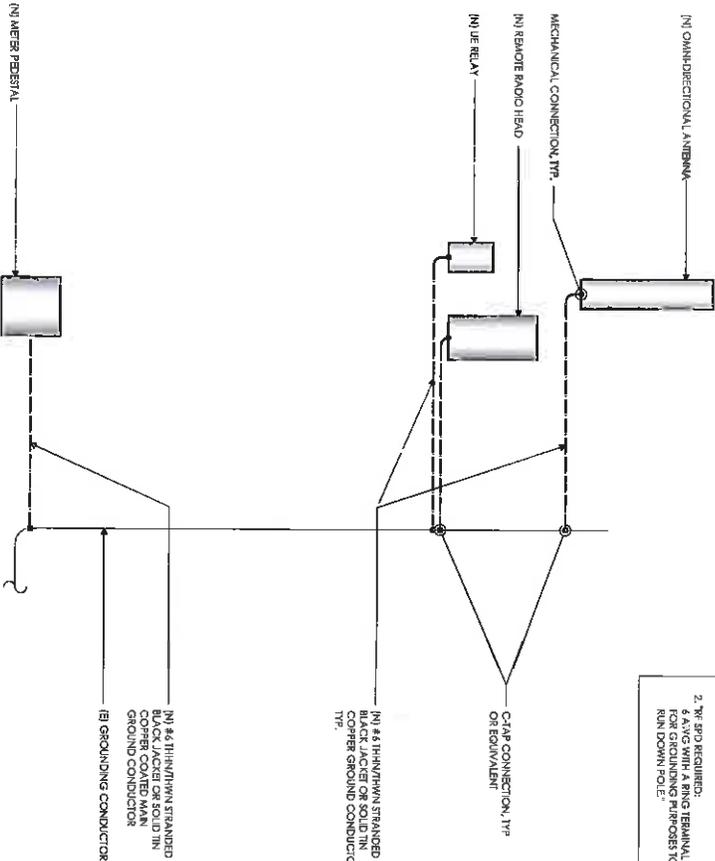


NOTE:
BECO DOMESTIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGERS FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

1. GROUND BONDS: ALL BONDS ARE TO BE MADE WITH #6 AWG STRANDED COPPER IN OPEN END POSITION. (INT-7-74/16 7, 8, 9)
2. EXTERIOR LIGHT BONDS: ALL METALLIC OBJECTS SHALL BE BONDED TO THE GROUND ROD. (INT-7-74/16 7, 12A)
3. GROUND RODS: ALL LIGHT COPPER CLAD STEEL GROUND ROD WITH MINIMUM DIAMETER OF 3/16" AND MINIMUM LENGTH OF 8 FEET. ALL GROUND RODS MAY BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO A MINIMUM DEPTH OF 37" BELOW GRADE OR 6 INCHES BELOW FROST LINE. (INT-7-74/16 1, 4 / 2.2, 3, 10)

AERIAL SITE LOCATION

SCALE
NOT TO SCALE 2



NOTE:
1. ALL GROUND CONDUCTORS TO BE #6 THIN/WHM STRANDED BLACK JACKET OR SOLID THIN COPPER UNLESS OTHERWISE NOTED OR REQUIRED BY EQUIPMENT MANUFACTURER.
2. 7' SPD REQUIRED:
6 AWG WITH A RING TERMINAL IS PROVIDED RUN DOWN POLE.
2" SPD SUPPORTS TO MAIN GROUND

GROUNDING SCHEMATIC DETAIL

SCALE
NOT TO SCALE 3

RECEIVED
JUL 19 2017
CITY OF KING

CR 2016-004

mobilitie
MOBILITE, INC.
2555 RED HILL AVENUE, SUITE 200
COSTA MESA, CA 92626

MMI
Mankin Management, LLC
PO Box 64671
75002-2524
www.mankinmanagement.com

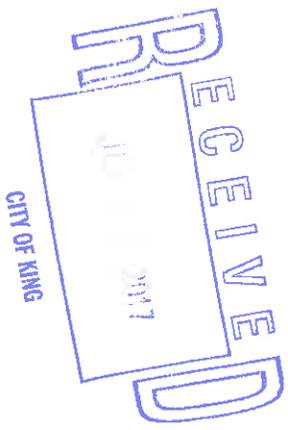
PROJECT NO:	9CAB013197	
DESIGNED BY:	J.GOLDPLUS	
CHECKED BY:	B. MARSH	
DATE:		
REVISIONS:		
1	09/20/17	CONSTRUCTION POWER
2	08/20/17	CONSTRUCTION POWER
3	06/17/17	CONSTRUCTION POWER
4	06/02/17	DESIGN REVISIONS

THIS PLAN SHALL BE USED FOR THE LIMITED PURPOSES OF A LIMITED PERMIT ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

SITE NAME
9CAB013197
SF90XS0A5A
411 Ellis St.
KING CITY, CA 93930
Utility Light Pole

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-1



GENERAL CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST ADOPTED EDITION, AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND LATEST ADOPTED EDITION. CONTRACTOR SHALL VERIFY THE SPECIFICATION IS THE REVISION DOCUMENT AND ANY OTHER REVISIONS TO THE SPECIFICATION SHALL BE SHOWN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FACILITY/BUILDER OR MOBILE CEM PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS OF THE SITE AND THE SURROUNDING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONTRIBUTING WITH ALL WORK MAY BE ACCOMPLISHED, AS SHOWN, PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/BUILDER OR AWARDER BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
4. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF A COMPLETE AND FINISHED PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY DETAILS AND PROVIDING ANY/ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PROVIDED IN PROPER WORKING ORDER.
5. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY. DIMENSIONS AND NOTES SHALL BE USED TO DETERMINE THE EXACT DIMENSIONS AS INDICATED ON THE DRAWINGS. OWNER PROVIDED MATERIALS WILL INCLUDE THOSE ITEMS LISTED IN THE EQUIPMENT DETAILS SECTION OF THESE DRAWINGS UNLESS OTHERWISE SPECIFIED OR PROVIDED TO THE CONTRACTOR IN WRITING PRIOR TO CONSTRUCTION START.
6. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, FIELD CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ATTENTION OF THE MOBILE CEM, IN WRITING, PRIOR TO THE COMMENCEMENT OF WORK.
7. DETAILS PROVIDED ARE FOR THE PURPOSE OF SHOWING DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR SITE CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
8. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, FEES, INSPECTIONS AND TESTING MATERIALS AND THE COMMENCEMENT OF WORK.
9. THE TERM "REPAIR" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS INDICATES THAT THE CONTRACTOR SHALL FINISH AND SEAL.
10. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DENIED OR DESCRIBED BY THE CONTRACT DOCUMENTS.
11. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING ACCEPTED INDUSTRY STANDARDS AND TECHNICAL. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADDRESSING AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
13. CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MOBILE CEM AND SCHEDULE THEIR ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
15. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
16. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT (a) SURFACES, EQUIPMENT, IMPROVEMENTS, PILING ETC. AND IMMEDIATE REPAIR TO NEW CONDITION, ANT DAMAGE THAT OCCURS DURING CONSTRUCTION AT THE SOLE COST OF THE CONTRACTOR.
17. IN DRILLING, HOLES, OR CORING, AND CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RIMS, PIPE OR DRIED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES, UNLESS NOTED OTHERWISE, LOCATIONS OF REINFORCING STEEL ARE NOT DETERMINED, KNOWN AND THEREFORE MUST BE LOCATED BY THE CONTRACTOR USING APPROPRIATE METHODS AND EQUIPMENT PRIOR TO ANY DRILLING OR CORING OPERATIONS IN (a) CONCRETE.
18. CONTRACTOR SHALL REPAIR, TO NEW CONDITION, ALL (a) WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT MATCH AND BLEND IN WITH ADJACENT SURFACES.
19. CONTRACTOR SHALL SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES OR MATERIALS WITH UL LISTED AND FIRE CODE APPROVED MATERIALS AND SYSTEMS THAT MEET OR EXCEED THE RATING OF THE ASSEMBLY IN WHICH THE NEW PENETRATION IS PLACED.
20. CONTRACTOR SHALL KEEP CONTRACT AREA CLEAN, HAZARDOUS, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
21. JUNCTION BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS RECOMMENDATIONS.
22. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO (a) SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL, OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, RECORD-KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AGENCIES.
23. ALL CONSTRUCTION WORK IS TO ADHERE TO APPLICANTS INTEGRATED CONSTRUCTION STANDARDS UNLESS STATE OR LOCAL CODE IS MORE STRINGENT.
24. THE INTENT OF THESE PLANS AND SPECIFICATIONS IS TO PERFORM THE CONSTRUCTION IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, RECORD-KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AGENCIES.
25. APPROPRIATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
26. CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE. ANY CORRECTIVE WORK SHALL BE COMPLETED AT THE SOLE COST OF THE CONTRACTOR.

ELECTRICAL NOTES:

1. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), AS AMENDED, AND ALL OTHER APPLICABLE CODES AND ORDINANCES. IF ANY PROBLEMS ARE ENCOUNTERED BY CONTRACTOR WITH THESE REQUIREMENTS, CONTRACTOR SHALL NOTIFY MOBILE CEM AS SOON AS POSSIBLE AFTER THE DISCOVERY OF THE PROBLEM. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, RECORD-KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AGENCIES.
2. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS REGARDING ELECTRICAL AND MECHANICAL WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONTRIBUTING WITH ALL WORK MAY BE ACCOMPLISHED, AS SHOWN, PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/BUILDER OR AWARDER BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC, ALL CODES AND ORDINANCES OF THE LOCAL JURISDICTION, AND POWER AND TELEPHONE COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT NOT BE LIMITED TO:
 - A) UL - UNDERWRITERS LABORATORIES
 - B) NEC - NATIONAL ELECTRICAL CODE
 - C) NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 - D) OSHA - OCCUPATIONAL SAFETY AND HEALTH ACT
 - E) SBC - STANDARD BUILDING CODE
 - F) NFPA - NATIONAL FIRE PROTECTION AGENCY
 - G) ANSI - AMERICAN NATIONAL STANDARDS INSTITUTE
 - H) IEEE - INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
 - I) ASTM - AMERICAN SOCIETY FOR TESTING MATERIALS
4. REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFORM WITH MOBILE CEM ANY SITES AND LOCATIONS WHEN NEEDED.
5. (a) SERVICES: CONTRACTOR SHALL NOT INTERFERE WITH (a) SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
6. CONTRACTOR SHALL CONFORM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE USE OF PROTECTIVE COVERINGS, SIZE OF TRENCHES, AND ANY/ALL CONNECTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE MOBILE CEM, PRIOR TO BEGINNING ANY WORK.
7. MINIMUM WIRE SIZE SHALL BE #12 AWG, NOT INCLUDING CONTROL WIRING, INSULATION UNLESS OTHERWISE NOTED.
8. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS; CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
9. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FINISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
10. ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFECTIVELY GROUNDED, AS REQUIRED BY SPECIFICATIONS, SET FORTH BY APPLICABLE CODES.
11. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN THE STATE OF CALIFORNIA. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, RECORD-KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AGENCIES.
12. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.

CWP 2016-004

<p style="font-size: 8px; margin: 0;">MOBILETTE INC. 2955 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>	<p style="font-size: 8px; margin: 0;">Mobile Management, LLC 10000 E. 15th Ave, Suite 100 Denver, CO 80231 www.mobilettemanagement.com</p>	<p>PROJECT NO: SC603197</p> <p>DRAWN BY: LCOLTRUS</p> <p>CHECKED BY: LABARRS</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">1. MOBILE/2. DESIGN REVISIONS</td> <td style="font-size: 8px;">3. 02/04/17 50% CD REVISIONS</td> </tr> <tr> <td style="font-size: 8px;">1. 02/04/17 50% CONSTRUCTION DRAWING</td> <td></td> </tr> </table>	1. MOBILE/2. DESIGN REVISIONS	3. 02/04/17 50% CD REVISIONS	1. 02/04/17 50% CONSTRUCTION DRAWING		<p style="font-size: 8px;">THIS IS THE MASTER SET OF CONTRACT DOCUMENTS. ALL CHANGES TO THE CONTRACT DOCUMENTS SHALL BE MADE BY A CHANGE ORDER OR A REVISION TO THIS DOCUMENT.</p> <p style="font-size: 8px;">SITE NAME</p> <p style="font-size: 8px;">9CAB013197</p> <p style="font-size: 8px;">SF90X30A5A</p> <p style="font-size: 8px;">411 Ellis St, KING CITY, CA 93930</p> <p style="font-size: 8px;">Utility Light Pole</p>	<p style="font-size: 8px;">SHEET TITLE</p> <p style="font-size: 8px;">GENERAL NOTES</p> <p style="font-size: 8px;">SHEET NUMBER</p> <p style="font-size: 8px;">GN-1</p>
1. MOBILE/2. DESIGN REVISIONS	3. 02/04/17 50% CD REVISIONS								
1. 02/04/17 50% CONSTRUCTION DRAWING									

ELECTRICAL NOTES CONT'D

13. THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED BY THE CONTRACTOR WITHOUT DELAY AND WITHOUT CHARGE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREBY.
14. CONTRACTOR SHALL PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, HOSES, COUPLERS AND DEVICES FOR ALL OUTLETS AS INDICATED.
15. DITCHING AND BACK-FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLATION, CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION REFER TO NOTES AND REQUIREMENTS EXCAVATION AND BACKFILLING.
16. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF ALL APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IEEE.
17. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURER'S CATALOG INFORMATION OF ANY/ALL EQUIPMENT AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE MOBILE COMPANY PRIOR TO INSTALLATION.
18. ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE MOBILE COMPANY FINAL ACCEPTANCE.
19. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPE/AMPEREN/DIAGNOSES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
20. DISCONNECT SWITCHES SHALL BE UL-RATED, H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
21. ALL CONDUCTORS SHALL BE MADE WITH A PROTECTIVE COATING OF A NON-CORRODING COMPOUND KNOWN AS "TRACOM-PA" BY BARBORNE CHEMICAL CO. COAT ALL WIRE SURFACES EXCEPT CONNECTED, EXPOSED COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
22. BACKWAYS CONDUIT SHALL BE SCHEDULE 90 PVC, MEETING OR EXCEEDING NEMA ICS-1990 CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LB TEST POLYETHYLENE CONDUIT. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 90 DEGREE BENDS. CONDUITS SHALL BE INSTALLED WITH THE BENDS TO THE OUTSIDE OF THE BUILDING. ALL CONDUITS SHALL BE INSTALLED WITH THE BENDS TO THE OUTSIDE OF THE BUILDING. ALL CONDUITS SHALL BE INSTALLED WITH THE BENDS TO THE OUTSIDE OF THE BUILDING.
23. SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
24. CONDUCTORS: CONTRACTOR SHALL USE 95% CONDUCTIVITY COPPER WITH TYPE THHN INSULATION, UNLESS OTHERWISE NOTED, 400 VOLT, COLOR CODED, USE SOLID CONDUCTORS FOR WIRING TO AND INCLUDING NO. 8 AWG. USE STRANDED CONDUCTORS FOR THREE ABOVE NO. 8 AWG.
25. CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TIGHT INSULATED TYPICAL CONNECTORS FOR NO. 10 AWG AND SMALLER, USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
26. SERVICE AS SPECIFIED ON THE DRAWINGS, OWNER OR OWNER'S AGENT WILL APPLY FOR POWER. ALL PROVISIONS FOR TEMPORARY POWER WILL BE OBTAINED BY THE CONTRACTOR.
27. TELEPHONE OR FIBER SERVICE: CONTRACTOR SHALL PROVIDE EMPTY CONDUITS WITH PULL STRINGS AS INDICATED ON DRAWINGS.
28. ELECTRICAL AND TELECOMMER RACKMOUNTS TO BE BUILT TO A MINIMUM DEPTH OF 30" UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL PLACE 6" WIDE DETAGABLE WARNING TAPE AT A DEPTH OF 6" BELOW THE SURFACE OF THE CONDUIT AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LB TEST POLYETHYLENE CONDUIT. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 90 DEGREE BENDS. CONDUITS SHALL BE INSTALLED WITH THE BENDS TO THE OUTSIDE OF THE BUILDING. ALL CONDUITS SHALL BE INSTALLED WITH THE BENDS TO THE OUTSIDE OF THE BUILDING.
30. ALL BOLTS SHALL BE 3-16 STAINLESS STEEL.
31. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPE/AMPEREN/DIAGNOSES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.

GROUNDING NOTES:

1. ALL HARDWARE SHALL BE 3-16 STAINLESS STEEL, INCLUDING LOCK WASHERS.
2. COAT ALL SURFACES WITH AN ANTI-CORROSION COMPOUND, AS SPECIFIED, BEFORE MOUNTING. ALL HARDWARE SHALL BE STAINLESS STEEL, 3/8" INCH DIAMETER OR LARGER.
3. FOR COAT ALL SURFACES WITH AN ANTI-CORROSION COMPOUND AND WASHERS BETWEEN LUG AND STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING.
4. ALL ELECTRICAL AND GROUNDING AT THE POLE SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 720 (LATEST EDITION), AND MANUFACTURER.
5. ALL DETAILS ARE SHOWN IN GENERAL TERMS, ACTUAL GROUNDING INSTALLATION AND CONTRIBUTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
6. GROUND ALL AIRTERNA BASES, FRAMES, CABLE RINGS, AND OTHER METALLIC COMPONENTS USING #4 GROUND WIRE. FOLLOW AIRTERNA AND B7S MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS.
7. ALL GROUND CONNECTIONS SHALL BE #4 AWG, UNLESS OTHERWISE NOTED. ALL WIRES SHALL BE COPPER WITH THHN, UNLESS OTHERWISE NOTED. ALL GROUND WIRE SHALL BE SOLID TIN COATED OR STRANDED GREEN INSULATED WIRE.
8. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE, TO OBTAIN MAXIMUM, PROVIDE SUPPLEMENTARY GROUNDING RODS AS REQUIRED TO ACHIEVE SPECIFIED OHM READINGS. GROUNDING AND OTHER OPTIONAL TESTING WILL BE PERFORMED BY THE MOBILE COMPANY. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
9. ALL HORIZONTAL RUN GROUNDING CONDUCTORS SHALL BE INSTALLED A MINIMUM OF 30" BELOW GRADE & BELOW PROTECTIVE TRENCH UNLESS OTHERWISE NOTED. BACK-FILL SHALL BE COMPLETED AS REQUIRED BY ARCHITECT/ENGINEER.
10. ALL GROUND CONDUCTORS SHALL BE BUNA S STRAIGHT AND SHORT AS POSSIBLE WITH A MINIMUM 1/2" BENDING RADIUS NOT LESS THAN 90 DEGREE.
11. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE: BUNDED, HR-GRADE ULL, LISTED CONNECTORS FOR OUTDOOR USE OR AS APPROVED BY APPLICANT PRODUCT MANAGER.
12. CADWELD EXOTHERMIC WELDS (WELDED CONNECTIONS), ONE (1) HOLETINNED COPPER COMPRESSION (TONG BARE) FITTINGS.
13. ALL CRIMPED CONNECTIONS SHALL HAVE EXPOSED MANUFACTURER'S DEBARER VISIBLE AT THE CRIMP JOINTING FROM USE OF PROPER CRIMPING DEVICES AND WEATHER PROTECTED WITH TIGHT SPARK.
14. ALL CONNECTION HARDWARE SHALL BE TYPE 3-16 STAINLESS STEEL (NOT ATTRACTED TO HUMIDITY).
15. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250.42 AND SHALL BE BUNA S STRAIGHT AND SHORT AS POSSIBLE WITH A MINIMUM 1/2" BENDING RADIUS NOT LESS THAN 90 DEGREE.
16. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250.42 AND SHALL BE BUNA S STRAIGHT AND SHORT AS POSSIBLE WITH A MINIMUM 1/2" BENDING RADIUS NOT LESS THAN 90 DEGREE.

TESTING AND EQUIPMENT TURN UP REQUIREMENTS:

1. BE CABLE DATA CABLE RADIO EQUIPMENT AND BACK-HALL EQUIPMENT TESTING WILL COMPLY WITH CURRENT INDUSTRY STANDARDS AND OF THOSE STANDARDS OF THE EQUIPMENT MANUFACTURER OR PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
2. CONTRACTOR WILL USE THE APPROPRIATE CALIBRATED TESTING EQUIPMENT IN THE TESTING OF BE CABLE DATA CABLE RADIO EQUIPMENT AND BACK-HALL EQUIPMENT.
3. EQUIPMENT THAT MEET INDUSTRY STANDARDS OF THE MANUFACTURER OR THOSE STANDARDS PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
4. CONTRACTOR TO VERIFY AND RECORD ALL TEST RESULTS AND PROVIDE THESE RESULTS WITHIN THE FINAL CLOSE OUT PACKAGE.
5. ALL PERSONNEL INVOLVED IN THE TESTING OF BE CABLE DATA, CABLE RADIO EQUIPMENT AND BACK-HALL EQUIPMENT WILL BE REQUIRED TO HAVE BEEN TRAINED AND OR CERTIFIED IN THE PROPER TESTING OF BE CABLE DATA CABLE, RADIO EQUIPMENT AND BACK-HALL.

EQUIPMENT:

1. ALL TEST RESULTS SHALL BE TIME STAMPED, RECORDED AND PRESENTED PRIOR TO ENERGIZING AND TURN UP OF ANY EQUIPMENT.
2. GRS EQUIPMENT IS NOT TO BE TESTED OR ATTACHED TO ANY CABLE DURING TESTING. DOING SO WILL DAMAGE THE GRS UNIT.
3. PRIOR TO TESTING IF THE CONTRACTOR HAS ANY QUESTIONS ABOUT THE TESTING TESTING REPRESENTATIVE CALL AND OBTAIN ASSISTANCE FROM A QUALIFIED PERSONALTED TESTING REPRESENTATIVE.
4. EQUIPMENT IS NOT TO BE ENERGIZED UNTIL ALL TESTING HAS BEEN COMPLETED, APPROVED AND THE APPROPRIATE AUTHORITY HAS BEEN NOTIFIED AND GIVEN APPROVAL TO ENERGIZE THE EQUIPMENT.

SITE WORK NOTES:

1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2. SITE LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND REFERRED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
3. ALL UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SURFACE OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL VERIFY ALL UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULE AND METHODS OF REMOVING OR ADJUSTING (B) UTILITIES.
4. CONTRACTOR SHALL VERIFY ALL UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DISCREPANCIES AS TO THE INTERFERENCE OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER OR MOBILE COMPANY FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CLEARED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO VERIFY UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL CALL LOCAL UTILITIES LOCATE HOT LINES, SUCH AS 811, FOR UTILITY LOCATIONS & MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. ALL NEW AND EXISTING UTILITIES ON SITE AND IN AREA TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INTERFERENCE OF WORK. ANY CORRECTIONS TO ADJUSTING (B) UTILITIES SHALL BE BORNE SOLELY BY THE CONTRACTOR.
6. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO EXISTING GRADING LIMITS.
7. ALL DEEPER EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROTECTED AGAINST COLLAPSE BY SHIELDING OR SHIELDING. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.



OFFICE FILE

028 2016-004

mobile
Independent Installation

MOBILE, INC.
2885 RED HILL AVENUE, SUITE 200
COSTA MESA, CA 92626

Mobile, Inc. is a wholly owned subsidiary of
MM
Mobile, Inc. is a wholly owned subsidiary of
Mobile, Inc. is a wholly owned subsidiary of

PROJECT NO.	9CAB013197
DRAWN BY	J.CODRILL
CHECKED BY	BAHARRS
DATE	07/20/17
SCALE	AS SHOWN
DATE	07/20/17
SCALE	AS SHOWN
DATE	07/20/17
SCALE	AS SHOWN

IF A ROW NUMBER IS NOT LISTED, ANY CHANGE TO THE DRAWING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

SHEET NUMBER
GN-2

SHEET TITLE
GENERAL NOTES

9CAB013197
SF90XS0A5A
411 Ellis St.
KING CITY, CA 95190
Utility Light Pole

SITE WORK NOTES CONTD

8. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY, UNLESS OTHERWISE NOTED.
9. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREAS TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 85% OF STANDARD PROCTOR DENSITY.
10. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS, THE LIFT THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
11. ANY FILL PLACED ON E/S SLOPES THAT ARE STEEPER THAN 1:1 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE E/S SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
12. CONTRACTOR SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO DIRT, PAPER, RAGS, WEEDS, BRUSH, EXCESS FILL OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
13. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED BY THE GENERAL CONTRACTOR.
14. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, ANY TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THE LOCATION.

FOUNDATION EXCAVATION AND BACKFILL NOTES:

1. ALL RYAL GRADES OTHER SHALL BE A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE NOTED.
2. BACKFILL OF POLE SHALL BE PERFORMED IN ONE OF THREE OPTIONS:
 - A. PREPARED, RANDOM INDUSTRIES POLE SETTING FOAM SHALL BE INSTALLED PER MANUFACTURER SPEC. FOAM SHALL ALWAYS BE USED FOR POOR SOILS.
 - B. SECONDARY CONCRETE REQUIRES MOISTURE CURE WRITEN APPROVAL ALLOWABLE SOIL PRESSURE = 2000 PSI ASSUMED. NON-HAZARDOUS SOILS SHALL BE REMOVED FROM BENEATH AREA AND SHALL NOT BE REUSED FOR BACKFILL.
 - C. ALL BACKFILLING PREPARED FOR PLACEMENT OF CONCRETE SHALL BE OF UNDISTURBED SOILS, SUBSTANTIALLY HORIZONTAL AND FREE FROM ANY LOOSE POSITIONABLE MATERIAL OR PROLEN SOILS, AND WITHOUT THE PRESENCE OF POLLUTION WATER. OVERWATER FOR EXCESS GROUND WATER SHALL BE REMOVED FROM BENEATH AREA AND SHALL NOT BE REUSED FOR BACKFILL.
3. ALL BACKFILLING PREPARED FOR PLACEMENT OF CONCRETE SHALL BE OF UNDISTURBED SOILS, SUBSTANTIALLY HORIZONTAL AND FREE FROM ANY LOOSE POSITIONABLE MATERIAL OR PROLEN SOILS, AND WITHOUT THE PRESENCE OF POLLUTION WATER. OVERWATER FOR EXCESS GROUND WATER SHALL BE REMOVED FROM BENEATH AREA AND SHALL NOT BE REUSED FOR BACKFILL.
4. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC OR UNSATURABLE MATERIAL. IF ADEQUATE BEARING CAPACITY IS NOT ACHIEVED AT THE DESIGNED EXCAVATION DEPTH, THE UNDERLAYER SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND THEN BE RE-PAVED WITH RECYCLED MATERIAL COMPACTED TO THE SAME DENSITY AS SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. ANY STONE 3/4 SIZE MATERIAL, IF USED, SHALL NOT SUBSTITUTE FOR REQUIRED THICKNESS OF CONCRETE.
5. ALL EXCAVATIONS SHALL BE CLEAN OF UNSATURABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH PRIOR TO BACKFILLING. BACK FILL SHALL CONSIST OF APPROVED MATERIALS SUCH AS DRY LIME TONS SAND/CLAY, AND COMPACTED TO NOT LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR SOIL IN ACCORDANCE WITH ASTM D1557.
6. ALL FILL MATERIAL AND FOUNDATION BACK FILL SHALL BE PLACED IN MAXIMUM 4" THICK LIFT BEFORE COMPACTION. EACH LIFT SHALL BE WRITTEN IF REQUIRED AND COMPACTED TO NOT LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR SOIL IN ACCORDANCE WITH ASTM D1557.
7. NEWLY PLACED CONCRETE FOUNDATIONS SHALL CURE A MINIMUM OF 72 HRS PRIOR TO BACK FILLING.
8. FINISHED GRADING SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER. THE FINAL FINISH ELEVATION OF SLAB FOUNDATION SHALL BE 1" ABOVE FINISH ELEVATION OF SLAB. FINISH GRADE ELEVATIONS, PROVIDE SURFACE FILL GRAVEL TO ESTABLISH SPECIFIED ELEVATIONS WHERE REQUIRED.
9. HEAVY GRADED GRAVEL SURFACE AREAS TO RECEIVE GRAVE SHALL BE COVERED WITH GEOTEXTILE FABRIC. TYPICAL 3" OR 3.5" AS MANUFACTURED BY TYPICAL COMMERCIAL OR AN APPROVED EQUIVALENT, SHOWING ON PLANS. THE GEOTEXTILE FABRIC SHALL BE BLACK IN COLOR TO CONTROL THE REFLECTANCE FROM THE GRAVEL AND TO PREVENT WEAR FROM THE GRAVEL. THE GEOTEXTILE SHALL BE COVERED WITH A MINIMUM OF 4" OF COMPACTED STONE OR GRAVEL, AS SPECIFIED. (E. FOOT TYPE NO. 57 FOR FINISHED COMPOUND; FOOT TYPE NO. 67 FOR ACCESS DRIVE AREA, UNLESS OTHERWISE NOTED).
10. IN ALL AREAS TO RECEIVE FILL, REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATURATED SOIL MATERIALS, OBSTRUCTIONS, AND DE BRIBES. SURFACES STEEPER THAN 1:1 VERTICAL TO 1 HORIZONTAL, SUCH THAT FILL MATERIAL WILL BIND WITH PREPARED SOIL SURFACE.

MISCELLANEOUS MATERIALS

1. FROM TIME TO TIME IF ANY BE NECESSARY TO MAKE RANGE ADJUSTMENTS TO EXHAUST ADDING A WASHER OR SHIM TO LEVEL OUT A BRACKET OR MOUNT TO MEET SPECIFICATIONS. HAVING TO CHECK OR SPACE A BRACKET OR MOUNT DUE TO FLANGES AND OR OTHER SMALL PROTRUSIONS ON A HOLE TOP ASSEMBLY.
2. ANY ADJUSTMENTS, NUTS, BOLTS, SPRING OR SPACERS USED TO ACCOMMODATE APPLIED LOADS TO THE MOUNT, BRACKET OR POLE, AS NEVER TO BECOME A FULL HAZARD.
3. ALL MATERIALS MUST BE EITHER STAINLESS STEEL OR GALVANIZED. HALF WASHERS ARE PROHIBITED.
4. ANY RINGS OR DISTRIBUTORS TO ACCOMMODATE ANTENNA MOUNTS AND EQUIPMENT SHOULD BE DONE IN A PROFESSIONAL MANNER WITH SWIFT, AND ASSEMBLY IN MIND.
5. SHOULD YOU HAVE ANY QUESTIONS CONTACT YOUR ASSIGNED CONSTRUCTION PROJECT MANAGER OR ENGINEER FOR GUIDANCE.

RECEIVED

JUN 2017

08 2016-004

<p>MOBILETTE, INC. 2969 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>	<p>Project No: C-060317 Drawn By: JGODRUS Checked By: BLAIRS</p>	<p>Site Name: 9CAB013197 SF90XSDA5A 411 Ellis St, KING CITY, CA 93930 Utility Light Pole</p>	<p>Sheet Title: GENERAL NOTES Sheet Number: GN-3</p>
--	---	---	--

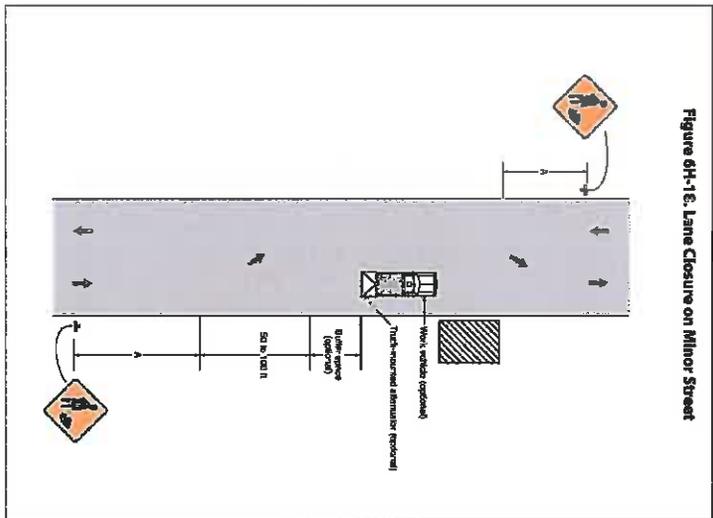
A (Distance Between Signs)	100
B (Distance Between Signs)	100
C (Distance Between Signs)	100
Maximum Taper Channelizing Device Spacing	25
Maximum Tangent Channelizing Device Spacing	50

Speed (MPH)	Spacing (ft.)			
	A	B	C	D
40 or less	200	200	200	100
41 to 49	350	350	350	175
50 to 54	500	500	500	250
55 or greater	2640	1640	1000	500

- * "ROAD WORK 1 MILE" sign may be used as an alternate to the "ROAD WORK AHEAD" sign.
- ** 500' beyond the "ROAD WORK AHEAD" sign or roadway between signs, whichever is less.
- *** "BE PREPARED TO STOP" sign may be omitted for speeds of 45 MPH or less.

- LEGEND**
- CHANNELING DEVICE
 - SKIN
 - WORKSPACE
 - FLAGGER
 - DIRECTION OF TRAFFIC

1. Work operations shall be confined to one traffic lane, leaving the opposite lane open to traffic.
2. Additional one-way control may be effected by the following means:
 - Flag-carrying vehicle
 - Official vehicle
 - Pilot vehicle
 - Traffic signal
3. The "ONE LANE ROAD" signs are to be fully covered and the "FLAGGER" signs either removed or fully covered when no work is being performed and the roadway is open to two-way traffic.
4. When a side road intersects the roadway within the TTC zone, additional TTC devices shall be placed in accordance with applicable TTC indexes.
5. The two channelizing devices directly in front of the work



GENERAL NOTES

1. area and the one channelizing device directly at the end of the work area may be omitted provided vehicles in the work area have high-intensity rotating, flashing, oscillating, or strobe light's operating.
2. For general TTC requirements and additional information, refer to MUTCD.

DURATION NOTES

1. "ROAD WORK AHEAD" and the "BE PREPARED TO STOP" signs may be omitted if all of the following conditions are met:
 - a. Work operations are 60 minutes or less
 - b. Speed limit is 45 MPH or less
 - c. No sight obstructions to vehicles approaching the work area for a distance equal to the buffer space
 - d. Vehicles in the work area have high-intensity, rotating, flashing, oscillating, or strobe light's operating
 - e. Volume and complexity of the roadway has been considered

CONDITIONS

WHERE ANY VEHICLE EQUIPMENT, WORKERS OR OTHER ACTIVITIES ENCLOSED ARE BETWEEN THE CENTERLINE AND A LINE 2' OUTSIDE THE EDGE OF TRAVEL WAY

Speed (MPH)	Distance (ft.)
25	155
30	200
35	250
40	305
45	360
50	425
55	495
60	570
65	645
70	730

When buffer space cannot be obtained due to geometric constraints, the greatest obtainable length shall be used, but not less than 200 ft.

RECEIVED

JUL 20 2016

CITY OF KING

CUE 2016-004

<p>MOBILELITE, INC. 2958 RED HILL AVENUE, SUITE 200 COSTA MESA, CA 92626</p>	<p>Anderson Management, LLC 100 N. VISTA, CA 94401 www.andersonmanagement.com</p>	<p>PROJECT NO.: 9CAB013197</p> <p>DRAWN BY: JGODFREY</p> <p>CHECKED BY: S.BARNES</p>	<p>DATE: 7/15/16</p> <p>SCALE: AS SHOWN</p> <p>PROJECT: 9CAB013197</p> <p>SHEET NO.: TC-1</p>
<p>9CAB013197 SF90XS0A5A 411 Ellis St. KING CITY, CA 93930 Utility Light Pole</p>			
<p>VEHICLE TRAFFIC CONTROL PLAN</p>			

Radio Frequency- Electromagnetic Energy-EME Measurements & Compliance Report

Site ID: 9CAB013197
Site Name: 9CAB013197A
Market/Region: CA
Address: 223 N. Vanderhurst Ave.
King City, CA 93930
Latitude: 36.213680
Longitude: -121.129431
Site Type: New Pole

Compliance Status:

Proposed equipment at the site is compliant with FCC guidelines for General Population environments

Prepared for:
Mobilite, LLC
2220 University Drive,
Newport Beach, CA 92660

By
ATG LLC

Date:03/31/2017



TABLE OF CONTENT

1 EXECUTIVE SUMMARY.....	3
2 MAXIMUM PERMISSIBLE EXPOSURE (MPE) MODELING RESULTS FOR PROPOSED SITE.....	3
3 ANTENNA INVENTORY	4
4 MODELING SUMMARY AND ASSUMPTIONS.....	4
4.1 GENERAL MODEL ASSUMPTIONS	4
5 PREPARER CERTIFICATION	5
APPENDIX A.....	6
FEDERAL COMMUNICATIONS COMMISSION (FCC) REQUIREMENTS.....	6
APPENDIX B.....	9
GLOSSARY OF TERMS.....	9
APPENDIX C	10
ROOFVIEW EXPORT FILE.....	10

1 Executive Summary

Purpose of Report

ATG LLC's RF Engineering has conducted radio frequency electromagnetic energy (RF-EME) modeling for Mobilitie LLC's site 9CAB013197 located at 223 N. Vanderhurst Ave. King City, CA 93930 to determine RF-EME exposure levels from the carrier's proposed wireless communications equipment.

The Federal Communications Commission (FCC) has developed Maximum Permissible Exposure (MPE) limits for general public and occupational exposures to RF-EME. This report summarizes the results of RF-EME modeling in relation to relevant FCC compliance standards for limiting human exposure to RF-EME. The details of FCC defined exposure limits are provided in Appendix A of this report.

Analysis results included in this report are based on drawings dated Feb 8th, 2017.

Statement of Compliance

Predictive modeling conducted using the original equipment manufacturers (OEMs) specifications for radio and antenna performance along with the supplied construction drawings dated Feb 8th, 2017, indicate there will be no exposure due to the carrier's proposed equipment on accessible ground-level walking surface at this site that exceeds the FCC's general public exposure limits.

Proposed equipment at the site is compliant with FCC guidelines for general population environments.

2 Maximum Permissible Exposure (MPE) Modeling Results for Proposed Site

The predictive modeling was conducted using the RoofView 5.0 suite of analysis tools. The modeling was conducted with the antennas operating at 100% capacity, all antenna channels transmitting simultaneously and the radio transmitters operating at full power. Obstructions (trees, buildings etc.) that would normally attenuate the signal are not taken into account. As a result, the predicted signal levels are more conservative (higher) than the actual signal levels would be during normal operations. The modeling calculations were made for an area 40'x 40' area with the equipment at the center.

Table 1: Maximum Permissible Exposure- Summary

Location	% of FCC General Public/Uncontrolled Exposure Limit	% of FCC Occupational/Controlled Exposure Limit	Power Density (mW/cm ²)	Compliance Status
6ft above ground level	2.4	0.5	0.024	Compliant

3 Antenna Inventory

The Antenna Inventory shows all transmitting antennas on the site (see Table 2). This inventory was used by ATG to perform the software modeling of RF emissions. The inventory conforms with the submitted construction drawings which identifies the proposed mounting location of each antenna at the site. The exposure level is calculated for a person of height 6ft standing right below the devices at ground level.

Table 2: Antenna Inventory

Antenna ID	Carrier/Operator	Antenna Type	Frequency (MHz)	Technology	ERP (W)	Gain dbd	Mfg.	Model	Aperture (ft.)	Transmitter count	Horizontal BeamWidth (deg)	Z (6 ft. above Ground)
1	Mobilite	Omni	2496	LTE	172.58	6.35	Alpha Wireless	AW3477-S	2.5	2	360	34.5
2	Mobilite	LTE Relay BH	2496	LTE	30.9	9.85	Airspan	iR460	1.1	1	35	10.8

The table below details the operating power and Effective Radiated Power (ERP) for each carrier and frequency used in the modeling.

Frequency (MHz)	Power per Transmitter (Watts)	# of Transmitters	ERP (watts)
2496 (Omni)	20	2	172.58
2496 (UE Relay)	3.2	1	30.9

4 Modeling Summary and Assumptions

4.1 General Model Assumptions

The modeling was conducted using the antenna and radio maximum power values, while operating at full power with 100% duty cycle.

The site has been modeled with these assumptions to calculate the maximum RF energy density. ATG believes this to be a worst case analysis, based on data supplied by the OEMs and client. If actual power density measurements were made, ATG believes the real time measurements would indicate levels below those shown in the report.

5 Preparer Certification

I, Preparer, state that:

- I am an employee of ATG LLC that provides RF-EME safety and compliance services to the wireless communications industry.
- I have successfully completed 100s of RF-EME exposure studies and reports for various carriers.
- I am aware of the potential hazards from RF-EME exposures that would be classified "occupational" or "general public" under the FCC regulations.
- I am familiar with the FCC rules and regulations as well as OSHA regulations both in general and as they apply to RF-EME exposure.
- I have reviewed all the data related to the site and incorporated it into this study and Compliance Report such that the information contained in this report is true and accurate to the best of my knowledge.

David J. Semsarha

David Semsarha (RF Engineer)

Appendix A

Federal Communications Commission (FCC) Requirements

This appendix summarizes the policies, guidelines and requirements that were adopted by the FCC on August 1, 1996, amending Part 1 of Title 47 of the Code of Federal Regulations, and further amended by action of the Commission on August 25, 1997 (see 47 CFR Sections 1.1307(b), 1.1310, 2.1091 and 2.1093, as amended). Commission actions granting construction permits, licenses to transmit or renewals thereof, equipment authorizations or modifications in existing facilities, require the preparation of an Environmental Assessment (EA), as described in 47 CFR Section 1.1311, if the particular facility, operation or transmitter would cause human exposure to levels of radiofrequency (RF) electromagnetic fields in excess of these limits.

The potential hazard associated with the RF electromagnetic fields is discussed in OET Bulletin No. 65. This document can be obtained on the FCC website. (https://transition.fcc.gov/Bureaus/Engineering_Technology/Documents/bulletins/oet65/oet65.pdf)

As per FCC guidelines there are two separate tiers of exposure limits that are based upon occupational/controlled exposure limits (for workers) and general public/uncontrolled exposure limits for members of the general public.

Occupational/controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Limits for occupational/controlled exposure also apply in situations when an individual is transient through a location where occupational/controlled limits apply provided he or she is made aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means

General public/uncontrolled exposure limits apply to situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment and not be made fully aware of the potential for exposure or cannot exercise control over their exposure.

The FCC's MPE limits for field strength and power density are given in Table 1 (and in 47 CFR § 1.1310) Figure 1 is a graphical representation of the limits for plane-wave (far-field) equivalent power density versus frequency. The FCC's limits are generally applicable to all facilities, operations and transmitters regulated by the Commission, and compliance is expected with the appropriate guidelines. The power density limits vary by frequency to take into account the different types of equipment that may be in operation at a particular facility and are "time-averaged" limits to reflect different durations resulting from controlled and uncontrolled exposures.

(A) Limits for Occupational/Controlled Exposure

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time E ² , H ² or S (minutes)
0.3-3.0	614	1.63	(100)*	6
3.0-30	1842/f	4.89/f	(900/f ²)*	6
30-300	61.4	0.163	1.0	6
300-1500	--	--	f/300	6
1500-100,000	--	--	5	6

(B) Limits for General Population/Uncontrolled Exposure

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time E ² , H ² or S (minutes)
0.3-1.34	614	1.63	(100)*	30
1.34-30	824/f	2.19/f	(180/f ²)*	30
30-300	27.5	0.073	0.2	30
300-1500	--	--	f/1500	30
1500-100,000	--	--	1.0	30

f = frequency in MHz

*Plane-wave equivalent power density

f = frequency in MHz *Plane-wave equivalent power density

Table 1

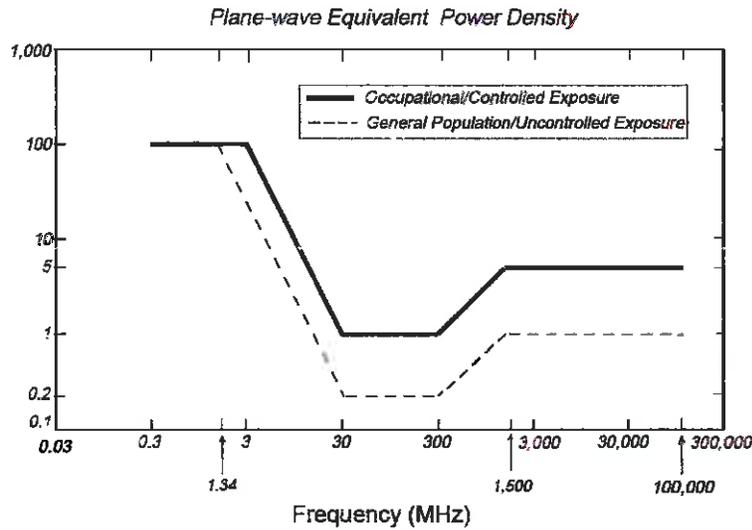


Figure 1. FCC Limits for Maximum Permissible Exposure (MPE)

The above mentioned FCC guidelines define MPE limits that are designed to provide substantial margin of safety for continuous exposure of all persons regardless of gender, age, size or health.

FCC Compliance Requirement

In general, as specified in 47 C.F.R. 1.1307(b), as amended, when the FCC's guidelines are exceeded in an accessible area due to the emissions from multiple fixed transmitters the following policy applies. Actions necessary to bring the area into compliance with the guidelines are the shared responsibility of all licensees whose transmitter's contribution to the RF environment at the non-complying area exceeds 5% of the exposure limit (that applies to their particular transmitter) in terms of power density or the square of the electric or magnetic field strength.

For non-compliant sites, Occupational Safety and Health Administration (OSHA) set recommendations to make the sites compliant. The document can be found in the link: https://www.osha.gov/dte/library/radiation/nir_stds_20021011/nir_stds_20021011.ppt

Appendix B

Glossary of Terms

1. *Electromagnetic Field (energy density)* – the electromagnetic energy contained in an infinitesimal volume divided by that volume.
2. *Exposure* – Exposure occurs whenever and wherever a person is subjected to electric, magnetic or electromagnetic fields other than those originating from physiological processes in the body and other natural phenomena.
3. *General Population / Uncontrolled Exposure* – applies to human exposure to RF fields when the general public is exposed or in which persons who are exposed as a consequence of their employment may not be made fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public always fall under this category when exposure is not employment-related.
4. *Maximum Permissible Exposure (MPE)* – the rms and peak electric and magnetic field strength, their squares, or the plane-wave equivalent power densities associated with these fields to which a person may be exposed without harmful effect and with an acceptable safety factor.
5. *Occupational / Controlled Exposure* – applies to human exposure to RF fields when persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled exposure limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general population/controlled limits.
6. *Power Density (S)* – Power per unit area normal to the direction of propagation, usually expressed in units of watts per square meter (W/m^2) or, for convenience, units such as milliwatts per square centimeter (mW/cm^2) or microwatts per square centimeter ($\mu W/cm^2$).

Appendix C

RoofView Export File

The below file shows the Antenna information that has been used to calculate the MPE levels using RoofView 5. RoofView is a powerful, Excel based software analysis tool for evaluating radiofrequency (RF) field levels at telecommunications sites that are produced by antennas of the type commonly used in the cellular, paging, SMR, PCS and conventional two-way radio communication services

Definition		Roof Max Y	Roof Max X	Map Max Y	Map Max X	Y Offset	X Offset	Number of evaluations														
		100	100	200	200	0	0	1	\$15	\$12	\$10	\$15	\$12	\$10	\$12	\$10	\$12	\$10	\$12	\$10	\$12	\$10
Standard	Method	Uptime	Scale	Facts	Low Thr	Low Color	Mid Thr	Mid Color	Hi Thr	Hi Color	Over Color	Ap Hr	Multi	Ap Hr	Method							
4	1	4	1	5	1	300	6	3000	6	6	6	1.5	1									
Data																						
It is advisable to provide an ID (ant 1) for all antennas																						
ID	Name	Freq	Power	Trans Count	Coax Len	Coax Type	Other Loss	Input Power	Calc Power	Mfg	Model	(R) X	(R) Y	(R) Z	Type	(R) Aper	dBd Gain	Efficiency	Uptime Profile	ON flag		
1	Mobile	2496						40	40	Alpha Wire	AW9477-5	20	20	20	94.5 VC	2.5	6.35	560		ON*		
2	Mobile	2496						3.2	3.2	Airspan	16460	20	20	20	10.8 VC	1.1	9.85	35		ON*		
Data																						
Sym	Map Name	Roof X	Roof Y	Map Label	Description (notes for this table only)																	



Item No. 8(D)

REPORT TO THE PLANNING COMMISSION

DATE: JULY 18, 2017

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: DOREEN LIBERTO, AICP, COMMUNITY DEVELOPMENT DIRECTOR

BY: DONALD J. FUNK, PRINCIPAL PLANNER

RE: PUBLIC HEARING TO CONSIDER MODIFICATION OF KIOSK TO REPLACE WITH WIND SCULPTURE AND WAYFINDING SIGN AT 743 BROADWAY STREET

RECOMMENDATION:

It is recommended that the Planning Commission review and approve changes to Case No. CUP 2016-007 to provide an option to replace the kiosk with a wind sculpture and potential wayfinding sign.

BACKGROUND:

On December 15, 2015, the Commission approved Conditional Use Permit, Case No. CUP 150-290 for O'Reilly Auto Parts store at 743 Broadway. On November 1, 2016, the Commission approved a new Case No. CUP 2016-007 (which included architectural review and a landscaping plan) to keep the project permits active until November 14, 2017. The CUP included the approval of a small information kiosk near the corner of Canal and Broadway Streets. The Commission approved the final design of the kiosk on May 3, 2016 based on the design prepared by the applicant's architect. The applicant has initiated construction of the 7,453 square foot commercial retail store. They hope to complete construction in mid-summer 2017.

In June 2017, the City Manager began discussions with the applicant to consider changing the kiosk to a wind sculpture and possible wayfinding sign. The City Manager is considering a proposal to utilize wind sculptures at strategic locations throughout the City as a means of creating visual interest and beautifying the City. At their July 11th meeting, the City Council approved at Wind Sculpture Art in Public Places Plan. Wind sculptures could benefit from frequent wind conditions, providing artful display of movement for both visitors and local residents. The plan would be for the sculptures to be located at other key locations in the future, including freeway off-ramps, major street intersections, parks, and community facilities. After working on the kiosk design, staff has also identified some concerns regarding the City's ability to improve and maintain the kiosk as effectively as originally conceived.

**PLANNING COMMISSION HEARING
PROPOSED CHANGE OF KIOSK TO WIND SCULPTURE
JULY 18, 2017
PAGE 2 OF 10**

DISCUSSION:

At the time of the writing of this staff report, the City Manager is in the process of discussing the change with the applicant, O'Reilly Auto Parts. In order to approve the change, the Commission would need to revise the approved CUP Findings of Fact (c) below:

Modify Conditional Use Permit Findings of Fact as follows:

~~c. The proposed project will, with the design measures included in the proposed plans (including the proposed kiosk and the proposed stucco and brick materials on the building and kiosk), comply with the provisions of the West Broadway Master Plan. Change this language to:~~

c. The proposed project will, with the design measures included in the proposed wind sculpture and wayfinding sign, comply with the provisions of the West Broadway Master Plan. If the wind sculpture is not installed, the original kiosk structure will be constructed as originally approved by the Commission.

Modify Conditional Use Permit Conditions of Approval as follows:

~~#29. Kiosk Maintenance Agreement: Prior to issuance of a building permit, the Maintenance Agreement for the future kiosk and easement shall be in place and have review and approval by the City Engineer, City Manager and City Attorney. Change this language to:~~

#29. Wind Sculpture Maintenance Agreement: Prior to installation of the wind sculpture and wayfinding sign, the Maintenance Agreement for the future easement for the wind-sculpture and wayfinding sign (or originally approved kiosk, if the wind sculpture is not pursued) shall be in place and have review and approval by the City Engineer, City Manager and City Attorney.

~~#30. Kiosk Design: Prior to issuance of a building permit, the Applicant shall comply with the final approved drawings approved by the Planning Commission for the design and materials for the kiosk. Change this language to:~~

#30. Wind Sculpture Design: Prior to installation of the wind sculpture by the City within the area of the easement near the corner of Broadway and Canal Streets, the Planning Commission will review and approve the final design and materials for the wind sculpture.

Since the modification is not and cannot be a requirement of the applicant at this time, staff is simply recommending the Planning Commission approve the concept as an alternative if agreed to by the applicant. The objective would be for the sculpture(s) to be funded by the costs the applicant would have otherwise dedicated to the kiosk project. If additional funding is necessary, the City can dedicate funding that would have otherwise been necessary to improve the kiosk. Staff is also recommending approval of

**PLANNING COMMISSION HEARING
PROPOSED CHANGE OF KIOSK TO WIND SCULPTURE
JULY 18, 2017
PAGE 3 OF 10**

a wayfinding sign that would be contingent on available funding or could be added later. One of the concepts for the kiosk was to include directional signage. This could replace that and would be more consistent with the other wayfinding sign recently installed.

ENVIRONMENTAL DETERMINATION:

The proposed change is consistent with the approved Mitigated Negative Declaration. The proposed wind sculpture and wayfinding sign is similar in nature to the previously approved kiosk structure. The change is minor in nature and no significant environmental impacts are anticipated. No additional environmental determination is required.

PUBLIC NOTICE AND INPUT:

The proposed amendment was noticed on July 5, 2017 in the South County Newspaper *The Rustler* newspaper.

Exhibits:

1. Exhibit 1 – Ideas for wind sculptures and wayfinding signs.

Submitted by: MAJ FOR DON FUNK
Donald J. Funk, Principal Planner

Approved by: MAJ FOR DOREEN LIBERTO
Doreen Liberto, AICP, Community Development Director

EXHIBIT 1

Samples of Wind Sculptures and Wayfinding Sign



Example 1: Wind Sculptures shown within an urban landscaped area.

**PLANNING COMMISSION HEARING
PROPOSED CHANGE OF KIOSK TO WIND SCULPTURE
JULY 18, 2017
PAGE 5 OF 10**



Example 2: Wind Sculpture

**PLANNING COMMISSION HEARING
PROPOSED CHANGE OF KIOSK TO WIND SCULPTURE
JULY 18, 2017
PAGE 6 OF 10**



Example 3: Wind Sculpture

**PLANNING COMMISSION HEARING
PROPOSED CHANGE OF KIOSK TO WIND SCULPTURE
JULY 18, 2017
PAGE 7 OF 10**



Example 4: Wind Sculpture



Example 5: Wind Sculpture

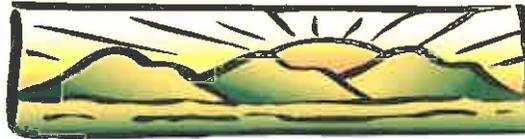


Example 6: Wind Sculpture

**PLANNING COMMISSION HEARING
PROPOSED CHANGE OF KIOSK TO WIND SCULPTURE
JULY 18, 2017
PAGE 10 OF 10**



Example 7: Wayfinding Sign



KING CITY
C A L I F O R N I A

Item No. 11(a)

REPORT TO THE PLANNING COMMISSION

DATE: JULY 18, 2017

TO: HONORABLE CHAIRPERSON AND MEMBERS OF THE
PLANNING COMMISSION

FROM: DOREEN LIBERTO, AICP, COMMUNITY DEVELOPMENT
DIRECTOR

BY: MARICRUZ AGUILAR, ASSISTANT PLANNER

RE: GREYHOUND BUS STOP RELOCATION

RECOMMENDATION:

It is recommended the Planning Commission review and file the proposed new Greyhound Bus Stop.

BACKGROUND:

Greyhound Bus Stop has been in operation at Garcia's Mini Mart, 316 S. First Street for approximately fourteen (14) years. In light of Garcia's Mini Mart having to relocate, Greyhound has been left with searching for a new bus stop location. Garcia's Mini Mart did approach the City with relocating the bus stop to the Historic Downtown Area. Staff determined that bus stop in the downtown would change the character of the area. The Greyhound buses require a minimum of forty-five (45') feet parking area and the downtown area would not be feasible for that. Furthermore, the City is undergoing many efforts to enhance the downtown area through a Streetscape Plan that will include new bulb-outs on the corner streets within this area and also processing a Façade Improvement Grant for the three-hundred block of Broadway Street.

On July 6, 2017, staff met with Juan Castro, Area Manager for Greyhound and discussed a number of locations for a new bus stop. Mr. Castro explained that Greyhound will need to have the new bus stop ready to go by July 28, 2017. Greyhound will be sending a Safety Inspector within the next couple of days to verify which of these locations would be best suitable to meet their requirements.

Staff has reviewed the two proposed locations with the City Manager Department and Public Works Department. The two proposes areas are within the Highway Service ("**H-S**") Zoning District and per Municipal Code §17.26.020 the Community Development Director has the authority to make a determination that

**PLANNING COMMISSION
GREYHOUND BUS STOP
JULY 18, 2017
PAGE 2 OF 6**

a conditional use permit is not required for uses similar in character to the existing use.

- The first proposed location is with the Full Stop Market, 601 Broadway Street with passenger loading off of S. San Lorenzo Avenue. (**Reference Figure 1.**)
- The second proposed location is with 7-Eleven, 801 Broadway Street with passenger loading utilizing the existing Monterey Salinas Transit (MST) bus stop on Canal Street (fronting the WorkWell Medical Group). (**Reference Figure 2.**)

DISCUSSION:

Greyhound is faced with a limited time span to relocate the bus stop with a deadline of July 28, 2017. The City has been working with Juan Castro, Area Manager to find a suitable location for the bus stop. At the time of this report, staff has reviewed both possible options and the Community Development Director has made the following determination:

Option 1

The property of 601 Broadway Street, Full Stop Market to be used as the ticket sales office and the bus stop along the public right-of-way facing South San Lorenzo Avenue. (**Reference Figure 1.**) The ticket sales office would all be conducted within the existing convenience store and would require no additions or alterations to the existing use. This option would require the installation of a pole and sign on the public right-of-way. Greyhound would then be required to apply for an encroachment permit with the Public Works Department to install the pole and sign and verify that it meets ADA standards.

FIGURE 1



**PLANNING COMMISSION
GREYHOUND BUS STOP
JULY 18, 2017
PAGE 3 OF 6**

The property is located within the Highway Service (H-S) Zoning District and within the Highway Service Commercial (HSC) General Plan Land Use Designation. Per Municipal Code §17.26.020 uses permitted without a Conditional Use Permit; the Community Development Director can make the determination based on the following circumstances for uses under 17.26.030, subject to a clearance of an architectural review or business license:

- (1) Will the project be occupying an existing building or will require an addition to an existing structure that will not result in an increase of more than twenty-five percent of the floor area of the structure before the addition, or five hundred square feet, whichever is less;

Determination

The project involves no expansion of the existing building and will not result in increase of floor area. The existing business is a Gas Station and Retail Market. The proposed use would be operating as a ticket sales office inside the existing retail market for passengers to purchase their bus tickets. The proposed includes no changes to the gas station operation. The proposed includes installation of a bus stop sign on the public right-of-way and a passenger loading area marked on the curb. Per Municipal Code §10.20.076, the City Manager is authorized to determine and to mark loading zones and passenger loading zones in commercial zoned areas and elsewhere, either in front of the entrance to any place of business, or in front of any hall or place used for the purpose of public assembly. The proposed location is within the Highway Service Commercial zone and the bus stop is proposed to be facing the Full Stop Market along South San Lorenzo.

- (2) Is the proposed use the same or similar in character to the existing use, as determined by the community development director, or designee. Exceptions may be allowed if the community development director determines that the new use is less intensive than the existing use; and

Determination

The proposed use is similar in character to the existing use. Greyhound is an intercity bus transportation service with an average of seven (7) daily passengers. The bus stop would be parked for no more than five (5) to ten (10) minutes at a time. The current bus schedules are a total of five (5) times a day during the following times:

North Route: 5:05 a.m., 12:55 p.m., and 8:30 p.m.

South Route: 10:15 a.m., 4:25 p.m.

The proposed use will not be driving onsite of the property and passengers will be able to use the convenience store and ticket sales desk inside the existing market. The proposed will not be making any changes to the exterior or interior of the property.

- (3) Is the project exempt from CEQA review and there is no possibility of a significant impact on the environment.

Determination

The project is categorically exempt from CEQA, pursuant to Class 1, as it consists with only operation and permitting with no alteration to the existing facility. The existing use is a gas station with a convenience retail market. The proposed bus stop will be stopping off-site on the public right-of-way on designated marked loading zones.

Option 2

The property of 801 Broadway Street, 7-Eleven to be used for the ticket sales office and the bus stop to be shared with the MST bus stop located along Canal Street. (**Reference Figure 2.**) The ticket sales office would be conducted within the existing 7-Eleven convenience store and would not require any alterations or expansions to the existing floor area. This option would require Greyhound to make arraignments with Monterey-Salinas-Transit to utilize/share the existing bus stop, verify that the pick-up and drop-offs don't conflict with each other and add their signage on existing poles. If a separate pole is required on the public right-of-way it may be subject to an encroachment permit with the Public Works Department.

FIGURE 3



The property is located within the Highway Service (H-S) Zoning District and within the Highway Service Commercial (HSC) General Plan Land Use

**PLANNING COMMISSION
GREYHOUND BUS STOP
JULY 18, 2017
PAGE 5 OF 6**

Designation. Per Municipal Code §17.26.020 uses permitted without a Conditional Use Permit; the Community Development Director can make the determination based on the following circumstances for uses under 17.26.030, subject to a clearance of an architectural review or business license:

- (1) Will the project be occupying an existing building or will require an addition to an existing structure that will not result in an increase of more than twenty-five percent of the floor area of the structure before the addition, or five hundred square feet, whichever is less;

Determination

The project involves no expansion of the existing building and will not result in increase of floor area. The existing business is a Convenience Retail Store. The proposed use would be operating as a ticket sales office inside the existing retail market for passengers to purchase their bus tickets. The proposed includes no changes to the interior or exterior of 7-Eleven Market. The proposed may include installation of a bus stop sign on the public right-of-way and a passenger loading area marked on the curb. Per Municipal Code §10.20.076, the City Manager is authorized to determine and to mark loading zones and passenger loading zones in commercial zoned areas and elsewhere, either in front of the entrance to any place of business, or in front of any hall or place used for the purpose of public assembly. The proposed location is within the Highway Service Commercial and would share an existing bus stop shelter with MST.

- (2) Is the proposed use the same or similar in character to the existing use, as determined by the community development director, or designee. Exceptions may be allowed if the community development director determines that the new use is less intensive than the existing use; and

Determination

The proposed use is similar in character to the existing use. Greyhound is an intercity bus transportation service with an average of seven (7) daily passengers. The bus stop would be parked for no more than five (5) to ten (10) minutes at a time. The current bus schedules are a total of five (5) times a day during the following times:

North Route: 5:05 a.m., 12:55 p.m., and 8:30 p.m.

South Route: 10:15 a.m., 4:25 p.m.

The proposed use will not be driving onsite of the property and passengers will be able to use the convenience store and ticket

**PLANNING COMMISSION
GREYHOUND BUS STOP
JULY 18, 2017
PAGE 6 OF 6**

sales desk inside the existing market. The proposed will not be making any changes to the exterior or interior of the property.

- (3) Is the project exempt from CEQA review and there is no possibility of a significant impact on the environment.

Determination

The project is categorically exempt from CEQA, pursuant to Class 1, as it consists with only operation and permitting with no alteration to the existing facility. The existing use is a convenience retail market and there is an existing MST bus stop shelter area along Canal Street.

COST ANALYSIS:

The City has been working on a Multi-Modal Transit Center ("**MMTC**") as part of the Downtown Addition Specific Plan. The MMTC would service train, bus, taxi, and bicycle transit needs. With all the MMTC efforts underway, the City would like to continue to have the Greyhound bus services within King City with the long-term plan of having all public transit stops centralized in the Downtown Addition expansion. The cost and time spent on this report and analysis will be covered by the General Fund. Greyhound would be responsible for any work on the public right-of-way and be subject to an Encroachment Permit with the Public Works Department. Greyhound would need to request in writing any requests for stripping and/or painting of curb for loading zones for review and approval by City Manager.

ENVIRONMENTAL REVIEW:

The proposed project is Categorically Exempt from CEQA, pursuant to Class 1, Existing Facilities.

Submitted by: MARICRUZ Aguilar
Maricruz Aguilar, Assistant Planner

Approved by: DL FOR Doreen Liberto
Doreen Liberto, AICP, Community Development Director