

PLOT PLAN REVIEW CHECKLIST – ARBOLEDA SPECIFIC PLAN

COMMUNITY DEVELOPMENT DEPARTMENT

DATE SUBMITTED:	APPLICANT NAME:
PROJECT NAME:	PROJECT SITE:
CASE NO.:	FEES PAID:

A plot plan review ("**PPR**") is required for any use or structure not requiring a conditional use permit ("**CUP**"). The PPR is conducted by staff and does not have a public hearing unless appealed to the Planning Commission. The PPR process certifies that the land use and/or development will satisfy all applicable provisions of the Arboleda Specific Plan and Vesting Tentative Map, and City Municipal Code, when applicable. PPR approval enables issuance of a building permit pursuant to the City Municipal Code, or the establishment of a land use that does not require a building permit but is still subject to a City Business License or Home Occupation Permit. (*Reference Exhibit 1 for PPR process diagram.*)

To ensure that your application is complete and to avoid delays, please provide all information requested below that is applicable to your project and provide a copy of the completed checklist with your application. If you have any questions, please contact the Community Development Department at (831) 386-5916.

- Completed *General Application Form*
- All **Required Fees** (minimum fee submitted at the time of application submittal)
- Permitted Types of New Construction**
 - Attached to Main Structure
 - Detached from Main Structure
- Covered Porch Total Proposed Square Feet: _____
- Pergolas Total Proposed Square Feet: _____
- Arbors Total Proposed Square Feet: _____
- Carports Total Proposed Square Feet: _____
- Independent Structures Total Proposed Square Feet: _____
- Other _____

- _____ % Existing Open Space Proposed Open Space _____ %
- _____ % Existing Impervious Area Proposed Impervious Area _____ %

EXHIBITIONS

- Five (5) copies of site plan drawings neatly and accurately prepared, that will enable ready identification and recognition of submitted information showing the following:
 - The location, exterior boundaries, and dimensions of the entire property that is the subject of the application. The scale of the drawing and a north arrow shall be indicated.
 - The locations, dimensions and use of all existing and proposed structures on the property, including accessory structures, balconies, fences, walls and other structural elements that protrude into yard areas.

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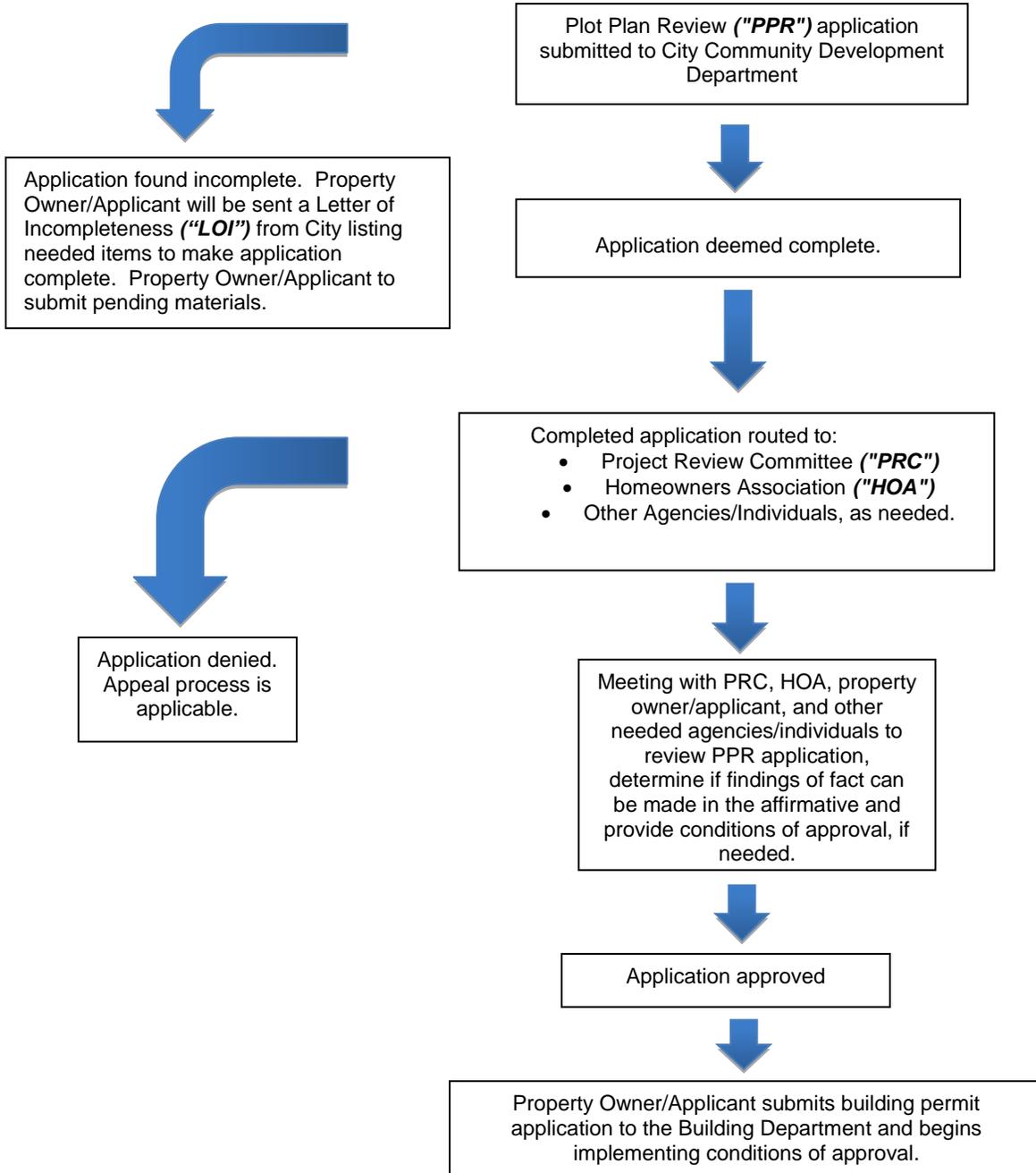
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- The locations and dimensions of existing driveways and parking areas, including type of surfacing materials, parking spaces, impervious surfaces.
- The locations of all existing landscaping, trees and major shrubs, with specific specifications as to any vegetation to be removed or retained.
- Project Description to include Design, Architectural Style, Colors and Materials of proposed accessory buildings. Construction type shall be similar quality and style as approved by the Arboleda Specific Plan. (*Reference Exhibits 1, 2 and 3.*)

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Exhibit 1 Plot Plan Review ("PPR") Process

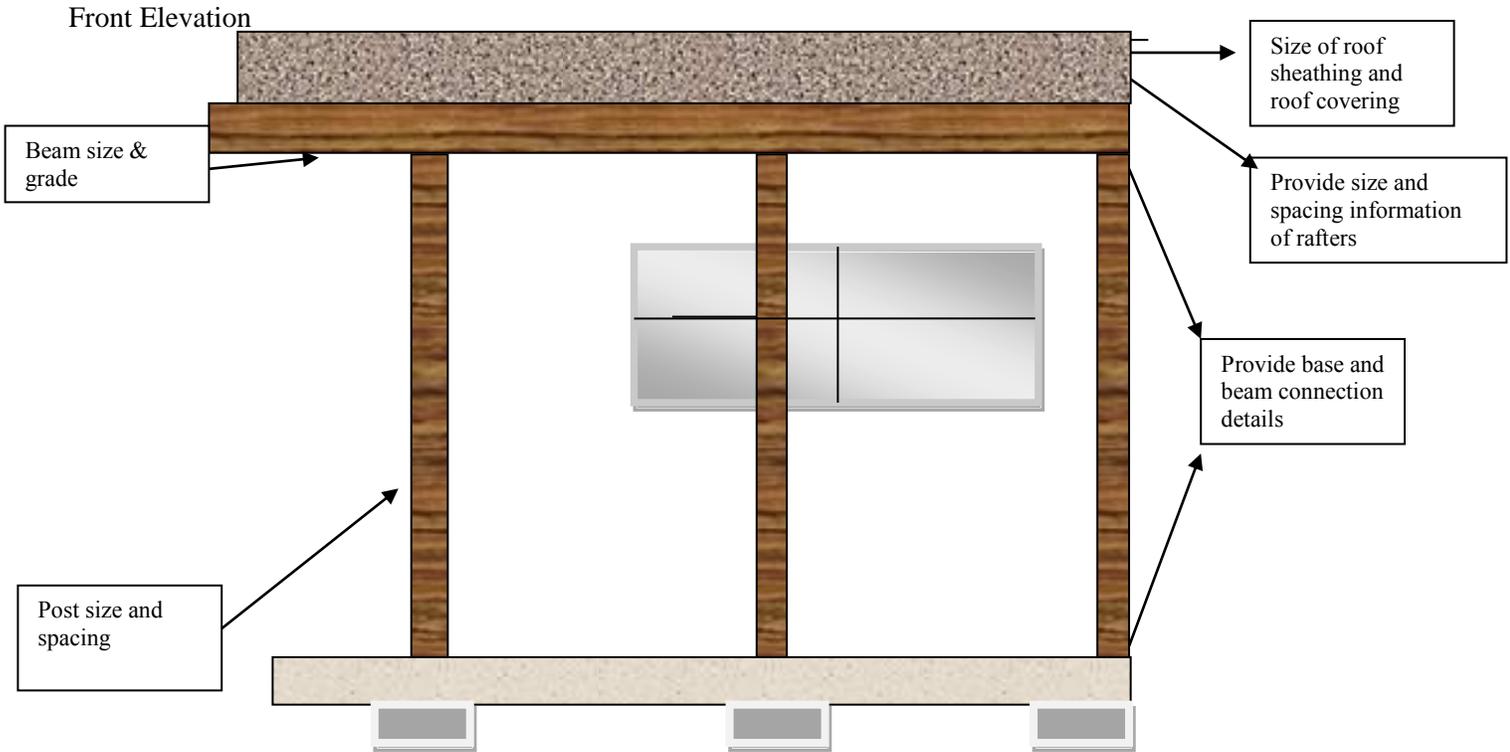


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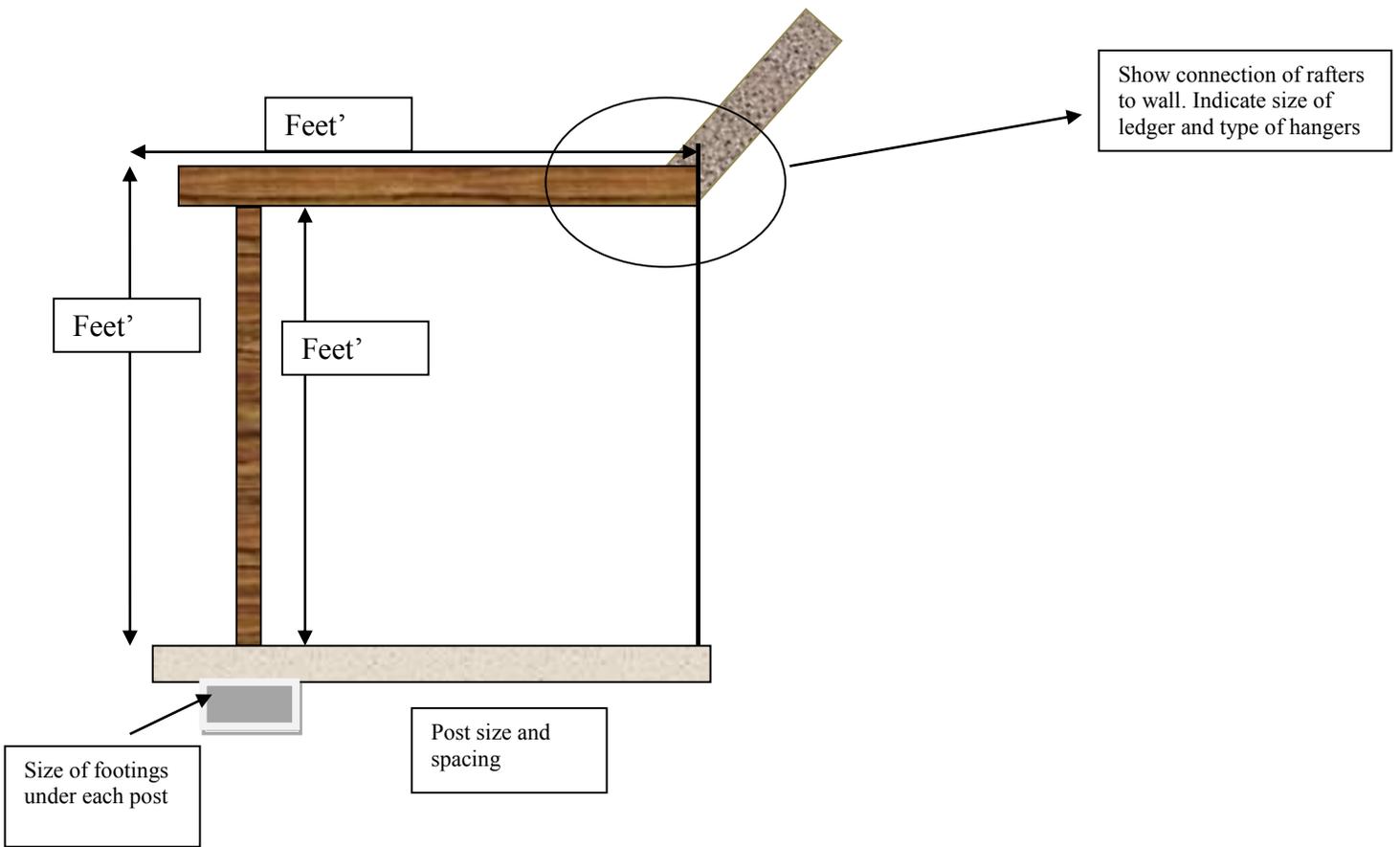
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Plans must be drawn to scale, minimum of 1/4" = 1'

Exhibit 2 Sample of Elevation



Side Elevation



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Exhibit 3
Sample of a Typical Site Plan

